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CONVERSION OF THE BAMBERG HOSPITAL TO :

BAMBERG ADMINISTRATIVE OFFICES

BAMBERG, SOUTH CAROLINA



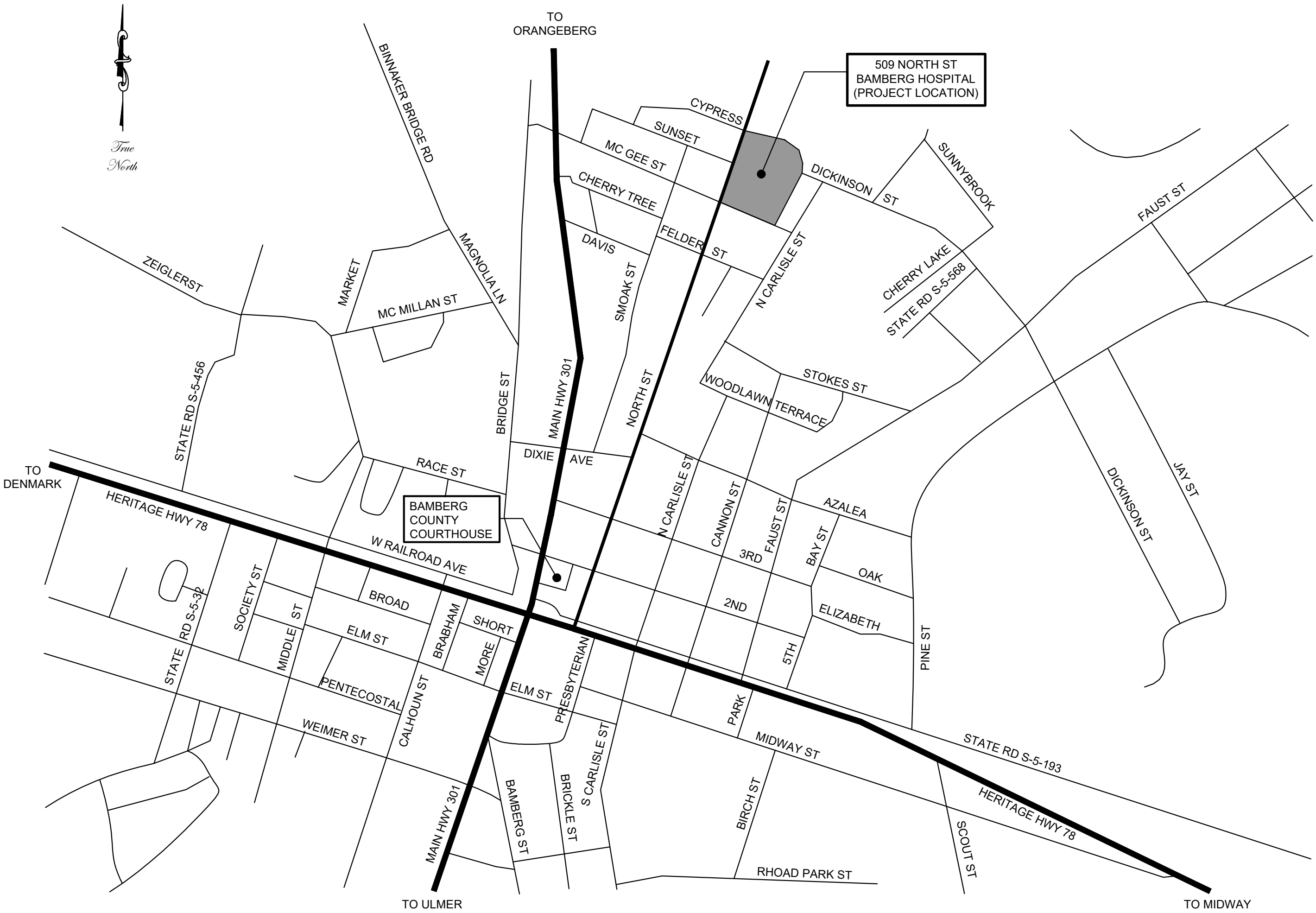
DRAWING INDEX

VICINITY MAP

DRAWING INDEX	
CIVIL	
ALLIANCE CONSULTING ENGINEERS	
	NOT INCLUDED WITH THIS SET
ARCHITECTURAL	
PIKE ■ MCFARLAND ■ HALL	
CV1	COVER SHEET / DRAWING SHEET INDEX
CV2	CODE ANALYSIS
TS1	EXISTING TOPOGRAPHICAL SURVEY
AS1	ARCHITECTURAL SITE PLAN
D1.0	DEMOLITION - EXISTING FLOOR PLAN
A1.0	COMPOSITE FLOOR PLAN
A1.1	ENLARGED PLAN - SHERIFF
A1.2	ENLARGED PLAN - EOC / CORONER / V. REG
A1.3	ENLARGED PLAN - HEALTH DEPT. / VA
A1.4	EXTERIOR CANOPY PLANS
A2.0	ENLARGED PLAN - TOILETS
A2.1	TOILET ELEVATIONS
A3.0	COMPOSITE REFLECTED CEILING PLAN
A3.1	CEILING DETAILS
A4.0	INTERIOR MILLWORK & DETAILS
A4.1	INTERIOR MILLWORK & DETAILS
A5.0	DOOR SCHEDULE
A5.1	DOOR & WINDOW DETAILS
A5.2	ROOM FINISH SCHEDULE
A6.0	EXTERIOR BUILDING ELEVATIONS
A6.1	EXTERIOR BUILDING ELEVATIONS
A6.2	EXTERIOR BUILDING ELEVATIONS
A7.0	WALL SECTIONS AND DETAILS
A7.1	WALL SECTIONS AND DETAILS
A7.2	WALL SECTIONS AND DETAILS
A7.3	WALL SECTIONS AND DETAILS
A7.4	WALL SECTIONS AND DETAILS
A7.5	WALL SECTIONS AND DETAILS
A7.6	HANDRAIL AND GUARD DETAILS

STRUCTURAL	
WEATHERLY ENGINEERING, LLC	
S1.0	STATEMENT OF SPECIAL INSPECTIONS
S1.1	GENERAL NOTES AND SPECIFICATIONS
S2.0	FOUNDATION PLANS
S2.1	FRONT CANOPY STRUCTURAL PLANS
S2.2	ALT #3 CANOPY STRUCTURAL PLANS
S2.3	ALT #2 CANOPY STRUCTURAL PLANS
S3.0	CANOPY SECTION DETAILS
S3.1	CANOPY SECTION DETAILS
S3.2	CANOPY SECTION DETAILS
S3.3	CANOPY SECTION DETAILS
S3.4	STRUCTURAL DETAILS
S3.5	SECTION DETAILS
S3.6	SITE DETAILS
PLUMBING	
MECHANICAL DESIGN INC.	
P1	PLUMB NOTES, DETAILS, SCHEDULES
P2	PLUMBING FLOOR PLAN-AREA "A"
P2.1	PARTIAL PLANS - AREA "A"
P3	PLUMBING FLOOR PLAN-AREA "B" & "C"
P3.1	PARTIAL PLANS - AREA "B"
P4	PLUMBING ROOF PLAN
MECHANICAL	
MECHANICAL DESIGN INC.	
M1.1	HVAC FLOOR PLAN - AREA "A" (BASE BID)
M1.1A	HVAC FLOOR PLAN - AREA "A" (ALTERNATE)
M1.2	HVAC FLOOR PLAN - AREA "B"
M1.2A	HVAC FLOOR PLAN - AREA "B" (ALTERNATE)
M1.3	HVAC PIPING PLAN - AREA "A"
M1.4	HVAC PIPING PLAN - AREA "B"
M2.1	HVAC ROOF PLAN
M3.1	HVAC SCHED, NOTES, SYMBOLS
M4.1	HVAC DETAILS
M4.2	HVAC DETAILS
FIRE SPRINKLER	
MECHANICAL DESIGN INC.	
SP1	SPRK FLR PLAN - AREA "D", DTLS, NOTES
SP2	SPRK FLR PLAN - AREA "A"
SP3	SPRK FLR PLAN - AREA "B" & "C"

ELECTRICAL	
SIMS GROUP ENGINEERS, INC.	
E0.1	ELECTRICAL SYMBOLS & NOTES
E0.2	ELECTRICAL SITE PLAN
E0.3	DEMOLITION PLAN
E1.1	LIGHTING PLAN - SHERIFF
E1.2	LIGHTING PLAN - EOC
E1.3	LIGHTING PLAN - HEALTH DEPT
E1.4	LIGHTING PLAN - CANOPIES
E1.5	LIGHTING PLAN - PHASE II AREA
E1.6	LIGHTING PLAN - PHASE II - DSS
E2.1	POWER PLAN - SHERIFF
E2.2	POWER PLAN - EOC
E2.3	POWER PLAN - HEALTH DEPT
E3.1	HVAC POWER PLAN - SHERIFF
E3.2	HVAC POWER PLAN - EOC
E3.3	HVAC POWER PLAN - HEALTH DEPT
E4.1	COMMUNICATIONS PLAN - SHERIFF
E4.2	COMMUNICATIONS PLAN - EOC
E4.3	COMMUNICATIONS PLAN - HEALTH DEPT
E5.1	FIRE ALARM PLAN - SHERIFF
E5.2	FIRE ALARM PLAN - EOC
E5.3	FIRE ALARM PLAN - HEALTH DEPT
E5.4	FIRE ALARM PLAN - PHASE II AREA
E5.5	FIRE ALARM PLAN - PHASE II DSS AREA
E5.6	FIRE ALARM SYMBOLS
E6.1	ELECTRICAL RISER DIAGRAMS
E6.2	ELECTRICAL PANEL SCHEDULES
E6.3	ELECTRICAL PANEL SCHEDULES
E6.4	ELECTRICAL DETAILS
E6.5	ELECTRICAL DETAILS
ROOF PLANS	
SHEPARD & ASSOC., LLC (ROOFING UNDER SEPARATE CONTRACT AND NOT INCLUDED UNDER THIS CONTRACT, U.N.O. ATTACHED DRAWINGS ARE FOR REFERENCE ONLY.)	
K1	KEY PLAN, DWG INDEX, LOCATION PLAN
X1	ROOF DEMOLITION PLAN
R1	ROOF PLAN
D1	ROOF DETAILS
D2	ROOF DETAILS
D3	ROOF DETAILS



CITY OF BAMBERG

PMH

PIKE ■ MCFARLAND ■ HALL
ASSOCIATES, INC.
ARCHITECTS & PLANNERS



OWNER
COUNTY OF
BAMBERG
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CONVERSION OF THE BAMBERG MEMORIAL HOSPITAL TO :
BAMBERG ADMINISTRATIVE OFFICES
BAMBERG,
SOUTH CAROLINA

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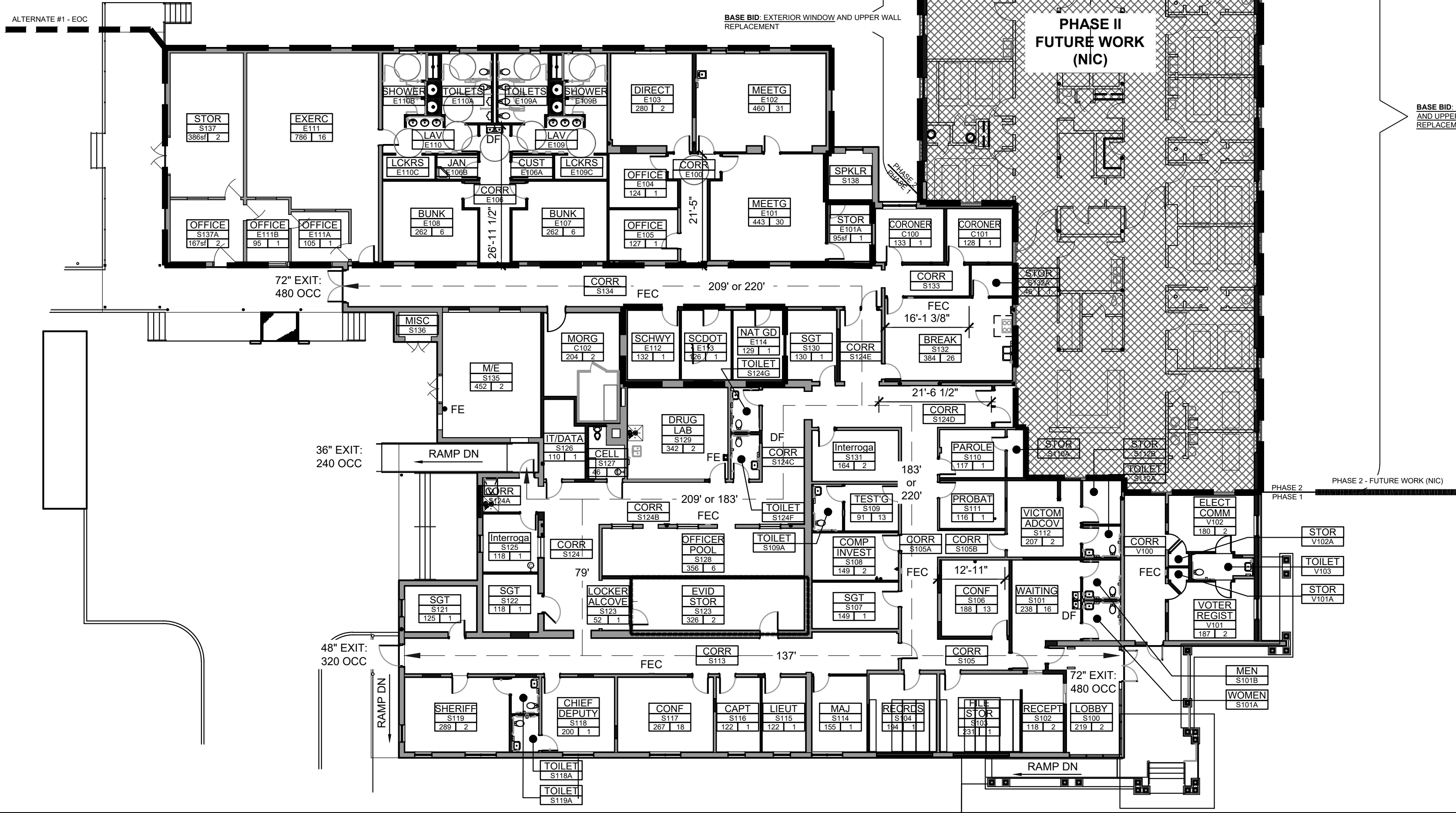
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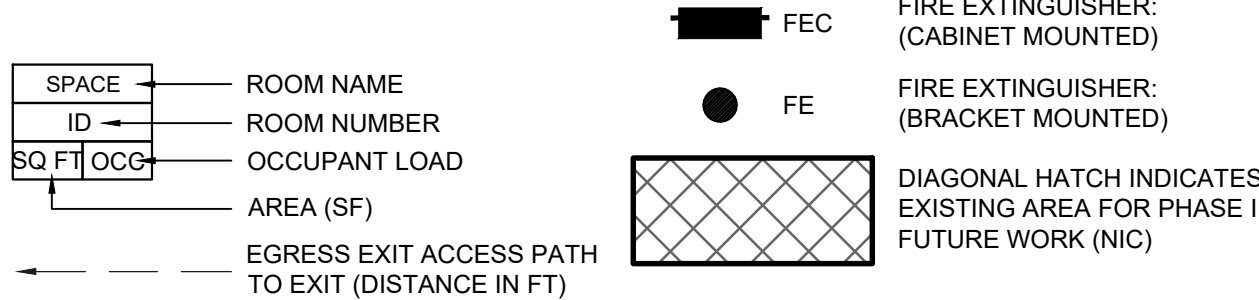
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ABBREVIATIONS				P	PAINT / POWER	PA	PUBLIC ADDRESS	PB	PEGBOARD
AB	ANCHOR BOLT	ACC	ACCORDING / ACCORDIAN	ACoust	ACOUSTICAL	PBB	PLASTER BASEBOARD	PBD	PARTICLEBOARD
ACT	ACOUSTICAL CEILING TILE	AD	AREA DRAIN	ADD	ADDENDUM	PCD	PAPER CUP DISPENSER	PERF	PERFORATED
ADJ	ADJUSTABLE / ADJACENT	AFF	ABOVE FINISH FLOOR	AGG	AGGREGATE	PG	PLATE GLASS	PH	PHASE
AHU	AIR-HANDLING UNIT	AL	ALUMINUM	ALT	ALTERNATE / ALTERATION	PLAM	PLASTIC LAMINATE	PLAS	PLASTER
ANOD	ANODIZED	AP	ACCESS PANEL / APRON PANEL	APPROX	APPROXIMATE	PNL	PANEL	PNT	PAINT
APT	APARTMENT	ARCH	ARCHITECT / ARCHITECTURAL	ASPH	ASPHALT	PP	PUSH PLATE	PR	PAIR
AVE	AVENUE	AVG	AVERAGE	AWP	ACOUSTICAL WALL PANEL	PSF	POUNDS PER SQUARE FOOT	PSI	POUNDS PER SQUARE INCH
BC	BOTTOM OF CURB	BD	BOARD	BFD	BI-FOLD DOOR	PT	POST-TENSIONED	PTD	PAINTED
BITUM	BITUMINOUS	BL	BUILDING LINE	BLDG	BUILDING	PTDW	PAPER TOWEL DISPENSER & WASTE RECEPTACLE	PTN	PARTITION
BLKG	BLOCKING	BLVD	BOULEVARD	BM	BEAM / BENCHMARK	PVMT	PAVEMENT	PVC	POLYVINYL CHLORIDE
BOT	BOTTOM	BRG	BEARING	BSMT	BASEMENT	QT	QUARRY TILE	QTR	QUARTER
BTWN	BETWEEN	BUR	BUILT-UP ROOF	BW	BUILT-UP OF WALL	R	RISER	RAS	BACKER ROD AND SEALANT
C	CELSIUS / CENTIGRADE	CAB	CABINET	CAP	CAPACITY	RAD	RADIUS	RB	RUBBER-BASE
CARP	CARPET	CB	CATCH BASIN / CHALK BOARD	CD	CEILING DIFFUSER	RD	ROOF DRAIN	REBAR	REINFORCING BAR
CEM	CEMENT	CEM PL	CEMENT PLASTER	CER	CERAMIC	RECEPT	RECEPTACLE	RECT	RECTANGULAR
CG	CORNER GUARD	CH	COAT HOOK	CHRL	CHAIR RAIL	REG	REGISTRATION / REGISTER	REINF	REINFORCE
CI	CAST IRON	CIP	CAST-IN-PLACE	CJ	CONTROL JOINT	RES	RESILIENT	RET	RETAINING / RETURN
CL	CENTERLINE	CLG	CEILING	CLKG	CAULKING	RH	ROBE HOOK / ROUND HEAD / RIGHT-HAND	RH	RELATIVE HUMIDITY
CLO	CLOSET	CLR	CLEAR	CLSR	CLOSER	RO	ROUGH OPENING	ROW	RIGHT OF WAY
CMU	CONCRETE MASONRY UNITS	COL	CLEAN OUT	COL	COLUMN	RRL	RUB RAIL	RS	ROUGH-SAWN
COMP	COMPOSITE / COMPOSITION	CONC	CONCRETE	COND	CONDITION	S	SOUTH / SHELF	S&R	SHELF AND ROD
CONN	CONNECT / CONNECTION	CONST	CONSTRUCTION	CONT	CONTINUOUS	SAN	SANITARY	SC	SOLID CORE
COORD	COORDINATE	CORR	CORRIDOR	CR	COLD ROLLED	SCHD	SCHEDULE	SCR	SHOWER CURTAIN ROD
CT	CERAMIC TILE	CT	CURTAIN TRACK	CTR	CENTER	SD	SOAP DISH / SOAP DISPENSER	SEC	SECOND
CTSK	COUNTERSUNK	CU	CUBIC	CW	COLD WATER	SF	SQUARE FEET	SFC	SPECIAL FLOOR COVERING
d	PENNY NAILS	db	DECIBEL	D	DRYER (CLOTHES)	SHR	SHOWER	SHT	SHEET
DBL	DOUBLE	DECID	DECIDUOUS	DEPT	DEPARTMENT	SHV	SHEET VINYL	SGL	SINGLE
DET	DETAIL	DF	DRINK FOUNTAIN	DIA	DIAMETER	SMR	SHEET-METAL RACEWAY	SMS	SHEET-METAL SCREWS
DIAG	DIAGONAL	DICA	DRILLED IN CONCRETE ANCHOR	DIFF	DIFFUSER	SNW	SANITARY NAPKIN WASTE RECEPTOR	SPEC	SPECIFICATIONS
DIM	DIMENSION	DISP	DISPOSAL / DISPENSER	DL	DEAD LOAD	SS	SERVICE SINK	SST	STAINLESS STEEL
DN	DOWN	DR	DOOR / DRAIN	DS	DOWNSPOUT	STA	STATION	STC	SOUND-TRANSMISSION CLASS
DSP	DRY STAND PIPE	DW	DISHWASHER	DWG	DRAWING	STL	STEEL	STOR	STORAGE
DWR	DRAWER	EB	EXPANSION BOLT	EJ	EXPANSION JOINT	SUBFL	SUBFLOOR	SURF	SURFACE
EA	EAST / EACH	ELEC	ELECTRICAL	ELEV	ELEVATOR/ELEVATION	SWM	SPECIAL WALL COATING	SYM	SYMMETRICAL
EL (ELEV)	ELEVATION	ENAM	ENAMEL	ENTR	ENTRANCE	T&S	TOP / THRESHOLD / TREAD / TOILET	T&S	TOP & BOTTOM / TEST & BALANCE
EMERG	EMERGENCY	EQ	EQUAL/EARTHEQUAKE	EQJ	EARTHQUAKE JOINT	TB	TOWEL BAR / TACKBOARD	TBB	TILE BACKER BOARD
EP	ELECTRICAL PANEL / END PNL	EQ	EQUAL/EARTHEQUAKE	EQJ	EARTHQUAKE JOINT	TCC	TOP OF CURB / TOP OF CONCRETE	TD	TOWEL DISPENSER
EQUIP	EQUIPMENT	ETR	EXISTING TO REMAIN	EW	EACH WAY	TEL	TELEPHONE	TEMP	TEMPERED / TEMPORARY / TEMPERATURE
EW	ELECTRIC WATER COOLER	EXH	EXHAUST	EXP	EXPANSION	TF	TOP OF FOOTING	TG	TEMPERED GLASS
EXST(E)	EXISTING	EXT	EXTERIOR	FAB	FABRICATE	THR	THRESHOLD	TN	TOENAIL
F	FAHRENHEIT	FA	FIRE ALARM / FORCED AIR	FD	FLOOR DRAIN	TOIL	TOILET	TOL	TOLERANCE
FB	FLAT BAR	FBD	FIBER BOARD	FE	FIRE EXTINGUISHER	TOS	TOP OF STEEL	TOW	TOP OF WALL
FDC	FIRE DEPARTMENT CONNECTION	FDN	FOUNDATION	FG	FIRE EXTINGUISHER	TPO	THERMOPLASTIC POLYOLEFIN SINGLE PLY ROOFING MEMBRANE	TV	TELEVISION
FEC	FIRE EXTINGUISHER	FF	FACTORY FINISH / FINISH CABINET	FHMS	FLATHEAD MACHINE SCREW	UBC	UNIFORM BUILDING CODE	UC	UNDER COUNTER / UNDER CUT
FH	FIRE HYDRANT / FLATHEAD	FHC	FIRE HOSE CABINET	FIN	FINISH	UNFIN	UNFINISHED	UNO	UNLESS NOTED OTHERWISE
PHWS	FLATHEAD WOOD SCREW	FIC	FURNISHED & INSTALLED BY CONTRACTOR	FL	FLOOR	UTIL	UTILITY	UV	UNIT VENTILATION / ULTRAVIOLET
FIO	FURNISHED & INSTALLED BY OWNER	FIT	FURNISHED & INSTALLED BY TENANT	FM	FROM / FACTORY MUTUAL RESEARCH CORP	V	VINYL	VAR	VARIABLE / VARNISH / VARIES
FLASH	FLASHING	FLUOR	FLUORESCENT	FM	FROM / FACTORY MUTUAL RESEARCH CORP	VERT	VERTICAL	VEST	VESTIBULE
FOB	FACE OF BRICK	FOC	FACE OF CONCRETE	FOF	FACE OF FINISH	VIF	VERIFY IN FIELD	VOL	VOLUME
FOIC	FURNISHED BY OWNER INSTALLED BY CONTRACTOR	FTIC	FURNISHED BY TENANT INSTALLED BY CONTRACTOR	FOV	FURNISHED BY OWNER INSTALLED BY VENDOR	VIT	VINYL TILE	VWC	VINYL WALL COVERING
FOM	FACE OF MASONRY	FOS	FACE OF STUDS	FP	FIREPROOF(ING)	W	WEST / WATER / WASHER (CLOTHES) / WATT	W	WITHOUT
FR	FREEZER / FIRE RETARDANT	FS	FULL SIZE / FLOOR SINK	FT	FOOT (OF FEET)	WAIN	WAINSCOT	WC	WATER CLOSET
FTG	FOOTING	FURN	FURNACE / FURNISH / FURNITURE	FURR	FURRING	WDW	WINDOW	WF	WIDE FLANGE
FUT	FUTURE	FWP	FLAT WALL PAINT	GALV	GALVANIZED	WH	WATER HEATER	WIC	WOODWORK INSTITUTE OF CALIFORNIA
G	GAS	GA	GAUGE	GD	GENERAL CONTRACTOR	WR	WASTE RECEPTACLE	WS (W-STRIP)	WEATHERSTRIPPING
GB	GRAB BAR	GC	GENERAL CONTRACTOR	GD	GENERAL CONTRACTOR	WT	WEIGHT	WWF	WELDED WIRE FABRIC
GFI	GROUND-FAULT INTERRUPTER	GFR	GLASS FIBER REINFORCED CONCRETE	GFRG	GLASS FIBER REINFORCED GYPSUM	YD	YARD DRAIN / YARD		
GL	GLASS / GLAZING / GLAZED	GLAM	GLUE-LAMINATED WOOD	GND	GROUND				
GWB	GYPSUM WALL BOARD	GYP	GYPSUM						
H	HINGE / HIGH	HB	HOSE BIB	HC	HANDICAP / HOLLOW CORE				
HCT	HOLLOW CLAY TILE	HCW	HOT & COLD WATER	HCW	HOLLOW-CORE WOOD				
HDBD	HARDBOARD	HDR	HARDNER	HDR	HEADER				
HDWD	HARDWOOD	HDWE	HARDWARE	HM	HOLLOW METAL				
HORIZ	HORIZONTAL	HP	HORSE POWER / HIGH POINT	HP	HEAT PUMP				
HR	HOUR / HANDRAIL	HS	HOOK STRIP	HT	HEIGHT				
HTG	HEATING	HW	HOT WATER	HWR	HOT WATER RETURN				
ID	INSIDE DIAMETER	ID	INSIDE DIMENSION	IE	INVERT ELEVATION				
IG	INSULATING GLASS	IN	INCHES	IND	INDICATED				
INFO	INFORMATION	INSP	INSPECTION	INST	INSTALLATION				
INSUL	INSULATION	IN	INTERIOR						
JAN	JANITOR	JST	JOIST	JT	JOINT				
KD	KILN DRIED	KIP	1000 POUNDS	KIT	KITCHEN				
KO	KNOCK OUT	KP	KICK PLATE	KS	KNEE SPACE				
L	LEFT / LENGTH	LAB	LABORATORY	LAM	LAMINATE				
LAV	LAVATORY	LB	POUND	LH	LEFT HAND				
LHR	LEFT-HAND REVERSED	LKR	LOOKER	LL	LIVE LOAD				
LP	LOW POINT	LSG	LAMINATED SAFETY GLASS	LT	LIGHT				
LTWT	LIGHTWEIGHT								
MIS	MIRROR WITH SHELF	MACH	MACHINE	MAGHD-OP	MAGNETIC-HOLD-OPEN				
MAS	MASONRY	MAT	MATERIAL	MAX	MAXIMUM				
MB	MACHINE BOLT / MARKER BOARD	MBL	MARBLE	MC	MEDICINE CABINET				
MCW	MINERAL CORE WOOD	MDF	MEDIUM-DENSITY FIBERBOARD	MDO	MEDIUM-DENSITY OVERLAY				
MECH	MECHANICAL	MEMB	MEMBRANE	MET	METAL				
MEZZ	MEZZANINE	MFR	MANUFACTURER	MG	MIRROR GLASS				
MH	MANHOLE	MIN	MINIMUM / MINUTE	MIR	MIRROR				
MISC	MISCELLANEOUS	MO	MASONRY OPENING	MOD	MODULE / MODIFY				
MS	MIRROR WITH SHELF	MS	MACHINE SCREW	MTD	MOUNTED				
MUL	MULLION								
N	NORTH	NO. / #	NUMBER	NOM	NOMINAL				
NTS	NOT-TO-SCALE								
OA	OVERALL	OC	ON-CENTER	OD	OUTSIDE DIAMETER				
OFD	OVERFLOW DRAIN	OFF	OFFICE	OH	OVER HEAD				
OH-STOP	OVERHEAD STOP	OHWS	OVAL HEAD WOOD SCREW	OPNG	OPENING				
OPP	OPPOSITE	OSB	ORIENTED STRAND BOARD	OZ	OUNCE				

PB	PEGBOARD	PC	PRECAST
PERP	PERPENDICULAR	PL	PLATE
PLYW	PLYWOOD	POL	POLISH
PREFAB	PREFABRICATED	PT	PRESSURE TREATED / POINT
PTD	PAPER TOWEL DISPENSER	PTN	PARTITION
PVC	POLYVINYL CHLORIDE		
PB	PEGBOARD	RA	RETURN AIR
RCP	REFLECTED CEILING PLAN		
RECEP	RECEPTION		
REF	REFERENCE / REFRIGERATE		
REQ	REQUIRED		
REV	REVISION		
RM	ROOM		
RP	RADIUS POINT		
RAWL	RAINWATER LEADER		
S&V	STAIN AND VARNISH		
SCD	SEAT COVER DISPENSER		
SCW	SOLID CORE WOOD		
SECT	SECTION		
SGEN	SEMIGLOSS ENAMEL		
SHTG	SHEATHING		
SLR	SEALER		
SND	SANITARY NAPKIN DISPENSER		
SQ	SQUARE		
STD	STANDARD		
STRUCT	STRUCTURE / STRUCTURAL		
SUSP	SUSPENDED		
SYM	SYMMETRICAL		
T&S	TOP & BOTTOM / TEST & BALANCE		
T&S	TONGUE & GROOVE		
TC	TERRACOTTA		
TDW	TOWEL DISPENSER & WASTE		
TEMP	TEMPERED / TEMPORARY / TEMPERATURE		
THK	THICK		
TOD	TOP OF DECK		
TOP	TOP OF PAVEMENT		
TPD	TOILET PAPER DISPENSER		
TV	TELEVISION		
TYP	TYPICAL		
UL	UNDERWRITERS LABORATORIES, INC		
UR	URINAL		
UV	UNIT VENTILATION / ULTRAVIOLET		
VAR	VARIABLE / VARNISH / VARIES		
VCT	VINYL-COMPOSITE TILE		
VG	VERTICAL GRAIN		
VP	VENEER PLASTER		
W	WITH		
WC	WATER CLOSET		
WG	WIRE GLASS / WIRE GAUGE		
WP	WORKPOINT / WATERPROOF		
WSC	WOOD SOLID CORE		
WWS	WEATHERSTRIPPING		
WWM	WELDED WIRE MESH		



SYMBOL LEGEND



GENERAL NOTES:

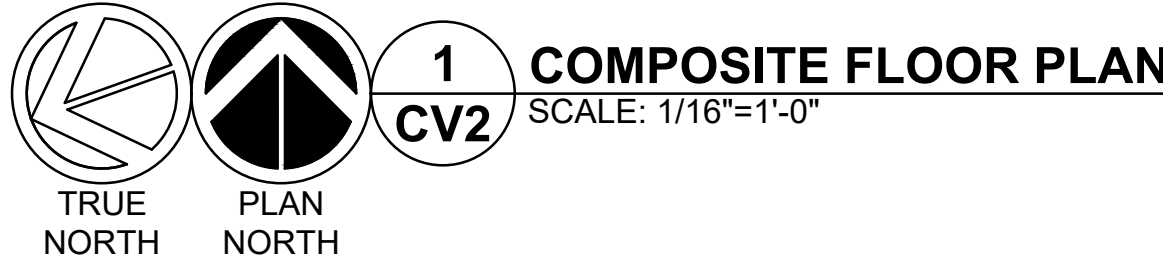
- ALL WORK TO BE INSTALLED PER THE LATEST CURRENT ADOPTED EDITION OF THE INTERNATIONAL BUILDING CODE(S) AND ALL OTHER CODES REFERENCED THROUGHOUT THESE CONTRACT DOCUMENTS.
- ABBREVIATIONS: NA=NOT APPLICABLE, SF=SQUARE FEET, A-3 = ASSEMBLY, B=BUSINESS, S1=STORAGE (LOW HAZARD)
- PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED, LOCATED AND INSTALLED PER REQUIREMENTS OF IBC SECTION 906 AND THE INTERNATIONAL FIRE CODE.
- TWO EXITS REQUIRED FROM ANY SPACE IN EXCESS OF 49 OCCUPANTS (IBC TABLE 1006.2.1)
- THE EXIT ACCESS TRAVEL DISTANCE SHALL BE IN ACCORDANCE WITH SECTION 1017 AND TABLE 1017.2 AS FOLLOWS: 300'-0" (SPRINKLER)
- BUILDING AREAS NOTED AS FUTURE RENOVATION (PHASE II) ARE NOT ADDRESSED INDIVIDUALLY IN THIS CODE ANALYSIS AND WILL HAVE TO BE ASSESSED AT A LATER DATE SEPARATELY FROM THIS PROJECT DEVELOPMENT AFTER THE COUNTY DEVELOPS A PROGRAM FOR IMPROVEMENTS. THESE SPACES WILL NOT BE OCCUPIED UNTIL AFTER THE FUTURE PROGRAM AND RENOVATIONS ARE DEVELOPED.

BUILDING CODE ANALYSIS

INTERNATIONAL BUILDING CODE (IBC) 2018 EDITION	
CODE ITEM	REQUIREMENTS
OCCUPANCY CLASSIFICATION (SECT 304):	BUSINESS - B
CONSTRUCTION CLASSIFICATION (CH 6):	TYPE IIB, SPRINKLERED
AREA ALLOWED (TABLE 506.2):	92,000 SF
AREA ACTUAL:	39,652 SF
HEIGHT ALLOWED (TABLE 504.3):	75'-0"
HEIGHT ACTUAL:	15'-0"
STORIES ALLOWED (TABLE 504.4):	4
STORIES ACTUAL:	1
STRUCTURAL MEMBERS (TABLE 601 - HOURS)	
PRIMARY STRUCTURAL FRAME:	0
BEARING WALLS - EXTERIOR:	0
NON-BEARING WALLS - EXTERIOR:	0 (TABLE 602: X ≥ 30)
NONBEARING INTERIOR PARTITIONS:	0
FLOOR CONSTRUCTION:	0
ROOF CONSTRUCTION:	0
FIRE SEPARATION (FIRE/SMOKE PROTECTION)	
OCCUPANCY SEPARATION (TABLE 508.4):	NA
EXTERIOR WALLS (TABLE 602):	0 (DIST X ≥ 30'-0")
FIRE WALLS (SECTION 706):	NA
FIRE BARRIERS (SECTION 707):	NA
FIRE/SMOKE PARTS (SECTS 708/709/710):	NA
FLOOR/ROOF ASSEMBLIES (SECTION 711):	0
SHAFT ENCLOSURES, EXIT STAIRS (SECTION 713):	0
HORIZONTAL EXIT (SECTION 1026):	NA
CORRIDORS (TABLE 1020.1):	0
DEAD END CORRIDORS (SECTION 1020.4):	50'-0" (EXCEPTION 2)
EXIT ACCESS TRAVEL DIST (TABLE 1017.2):	300 FT (SPRINKLER)
MAX. FLOOR AREA PER OCCUPANT (TABLE 1004.5)	
SPACE TYPE	SQ. FT.
BUSINESS (B)	8,035
ASSEMBLY (A-3)	3,247
STORAGE (S1)	1,229
SF/ PERSON	
BUSINESS (B)	150 SF / PERSON
ASSEMBLY (A-3)	15 SF / PERSON
STORAGE (S1)	300 SF / PERSON

PLUMBING FIXTURE COUNT

(2018 IPC TABLE 403.1)							
CLASSIFIC	TOT OCC	WC(M)	WC(F)	LAV(M)	LAV(F)	DF	OTHER
SHERIFF / EOC (BUSINESS)	207	1:25 up to 50 1:50 abv 50	1:25 up to 50 1:50 abv 50	1:40 up to 80 1:80 abv 80	1:40 up to 80 1:80 abv 80	1:100	JAN SINK
PROVIDED	104	3	3	2	2	2	1
HEALTH (BUSINESS)	111	1:25 ≤ 50 1:50 > 50	1:25 ≤ 50 1:50 > 50	1:40 ≤ 80 1:80 > 80	1:40 ≤ 80 1:80 > 80	1:100	JAN SINK
PROVIDED	56	2	2	2	2	1	1
VOTER REG (BUSINESS)	2	1:25 ≤ 50 1:50 > 50	1:25 ≤ 50 1:50 > 50	1:40 ≤ 80 1:80 > 80	1:40 ≤ 80 1:80 > 80	1:100	JAN SINK
PROVIDED	1	1		1			
VET AFFRS (BUSINESS)	6	1:25 ≤ 50 1:50 > 50	1:25 ≤ 50 1:50 > 50	1:40 ≤ 80 1:80 > 80	1:40 ≤ 80 1:80 > 80	1:100	JAN SINK
PROVIDED	1	1		1			
OCCUPANCY COUNT / EGRESS DOOR WIDTH (IBC SECT. 1005, 1005.3.2 Exception 1)							
BUILDING AREA	OCCUPANTS	WIDTH FACTOR	TOT DOOR WIDTH (IN)	TOT DOORS PROVIDED	TOT DOORS REQUIRED		
SHERIFF / EOC	207	.15 (SPRINK)	31	2	(5) 3'-0" WIDE (1) 4'-0" WIDE		
HEALTH / VA	111	.15 (SPRINK)	17	2	(3) 3'-0" WIDE		
VOTER REGISTR	2	.15 (SPRINK)	.3	1	(1) 3'-0" WIDE		



PMH

PIKE ■ MCFARLAND ■ HALL ASSOCIATES, INC. ARCHITECTS & PLANNERS

STATE OF SOUTH CAROLINA
PIKE MCFARLAND HALL
4886 NC MYRTLE BEACH, SC 29532
REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA
DAVID S.V. HALL
4886 NC MYRTLE BEACH, SC 29532
REGISTERED ARCHITECT

OWNER

COUNTY OF BAMBERG

P.O. BOX 149
BAMBERG, SC 29003
803-245-5191

PROJECT

CONVERSION OF THE BAMBERG MEMORIAL HOSPITAL TO:
BAMBERG ADMINISTRATIVE OFFICES
BAMBERG,
SOUTH CAROLINA

CODE ANALYSIS

CHECKED BY:

COMM: 17019
FILE: COVER/CODE
DRAWN BY: dsvh
PLOT: 1
DATE: 10-14-20
REV:</

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WALL LEGEND	
TYPE	DESCRIPTION
(A)	EXISTING EXTERIOR WITH NEW INTERIOR PAINTED GWB OVER 3/4" FURRING IF REQUIRED, FIELD VERIFY THICKNESS
(B)	NEW INTERIOR METAL STUD WITH PAINTED GWB AND SOUND ATTENUATION BATTS, SEE PLAN FOR THICKNESS
(C)	EXISTING INTERIOR WITH NEW OPENING, MATCH ADJACENT CONSTRUCTION AND FINISHES, FIELD VERIFY THICKNESS
(D)	EXISTING INTERIOR STUD OR MASONRY WITH NEW PAINTED GWB, PROVIDE BATTS FOR STUDS AND FURRING FOR MASONRY IF REQUIRED, FIELD VERIFY CONSTRUCTION
(E)	EXISTING WALL CONSTRUCTION TO BE DEMOLISHED, FIELD VERIFY CONSTRUCTION (N.B. BRICK MASONRY AND STUDS)
(F)	EXISTING WALL CONSTRUCTION TO REMAIN, NO WORK REQUIRED
(G)	1-HOUR FIRE RATED WALL WITH 34 HOUR PROTECTED OPENINGS, FIRE CAULK ALL PENETRATIONS.

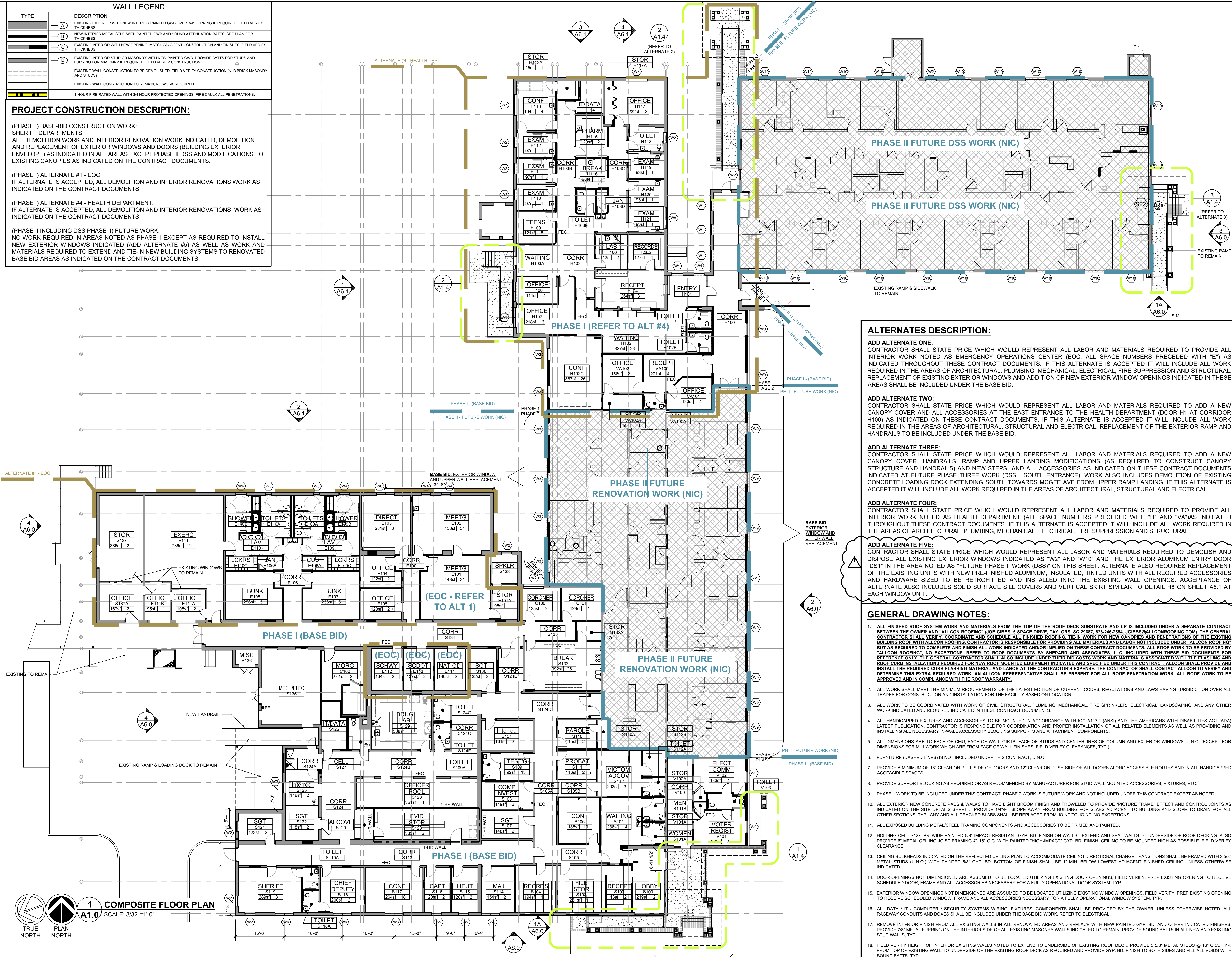
PROJECT CONSTRUCTION DESCRIPTION:

(PHASE I) BASE-BID CONSTRUCTION WORK:
SHERIFF DEPARTMENTS:
ALL DEMOLITION WORK AND INTERIOR RENOVATION WORK INDICATED, DEMOLITION AND REPLACEMENT OF EXTERIOR WINDOWS AND DOORS (BUILDING EXTERIOR ENVELOPE) AS INDICATED IN ALL AREAS EXCEPT PHASE II DSS AND MODIFICATIONS TO EXISTING CANOPIES AS INDICATED ON THE CONTRACT DOCUMENTS.

(PHASE I) ALTERNATE #1 - EOC:
IF ALTERNATE IS ACCEPTED, ALL DEMOLITION AND INTERIOR RENOVATIONS WORK AS INDICATED ON THE CONTRACT DOCUMENTS.

(PHASE I) ALTERNATE #4 - HEALTH DEPARTMENT:
IF ALTERNATE IS ACCEPTED, ALL DEMOLITION AND INTERIOR RENOVATIONS WORK AS INDICATED ON THE CONTRACT DOCUMENTS

(PHASE II INCLUDING DSS PHASE II) FUTURE WORK:
NO WORK REQUIRED IN AREAS NOTED AS PHASE II EXCEPT AS REQUIRED TO INSTALL NEW EXTERIOR WINDOWS INDICATED (ADD ALTERNATE #5) AS WELL AS WORK AND MATERIALS REQUIRED TO EXTEND AND TIE-IN NEW BUILDING SYSTEMS TO RENOVATED BASE BID AREAS AS INDICATED ON THE CONTRACT DOCUMENTS.



ALTERNATES DESCRIPTION:

ADD ALTERNATE ONE:
CONTRACTOR SHALL STATE PRICE WHICH WOULD REPRESENT ALL LABOR AND MATERIALS REQUIRED TO PROVIDE ALL INTERIOR WORK NOTED AS EMERGENCY OPERATIONS CENTER (EOC: ALL SPACE NUMBERS PRECEDED WITH "E") AS INDICATED THROUGHOUT THESE CONTRACT DOCUMENTS. IF THIS ALTERNATE IS ACCEPTED IT WILL INCLUDE ALL WORK REQUIRED IN THE AREAS OF ARCHITECTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE SUPPRESSION AND STRUCTURAL. REPLACEMENT OF EXISTING EXTERIOR WINDOWS AND ADDITION OF NEW EXTERIOR WINDOW OPENINGS INDICATED IN THESE AREAS SHALL BE INCLUDED UNDER THE BASE BID.

ADD ALTERNATE TWO:
CONTRACTOR SHALL STATE PRICE WHICH WOULD REPRESENT ALL LABOR AND MATERIALS REQUIRED TO ADD A NEW CANOPY COVER AND ALL ACCESSORIES AT THE EAST ENTRANCE TO THE HEALTH DEPARTMENT (DOOR H1 AT CORRIDOR H100) AS INDICATED ON THESE CONTRACT DOCUMENTS. IF THIS ALTERNATE IS ACCEPTED IT WILL INCLUDE ALL WORK REQUIRED IN THE AREAS OF ARCHITECTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE SUPPRESSION AND STRUCTURAL. REPLACEMENT OF THE EXTERIOR RAMP AND HANDRAILS TO BE INCLUDED UNDER THE BASE BID.

ADD ALTERNATE THREE:
CONTRACTOR SHALL STATE PRICE WHICH WOULD REPRESENT ALL LABOR AND MATERIALS REQUIRED TO ADD A NEW CANOPY COVER, HANDRAILS, RAMP AND UPPER LANDING MODIFICATIONS (AS REQUIRED TO CONSTRUCT CANOPY STRUCTURE AND HANDRAILS) AND NEW STEPS AND ALL ACCESSORIES AS INDICATED ON THESE CONTRACT DOCUMENTS INDICATED AT FUTURE PHASE II WORK (DSS - SOUTH ENTRANCE). WORK ALSO INCLUDES DEMOLITION OF EXISTING CONCRETE LOADING DOCK EXTENDING SOUTH TOWARDS MCGEE AVE FROM UPPER RAMP LANDING. IF THIS ALTERNATE IS ACCEPTED IT WILL INCLUDE ALL WORK REQUIRED IN THE AREAS OF ARCHITECTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE SUPPRESSION AND STRUCTURAL.

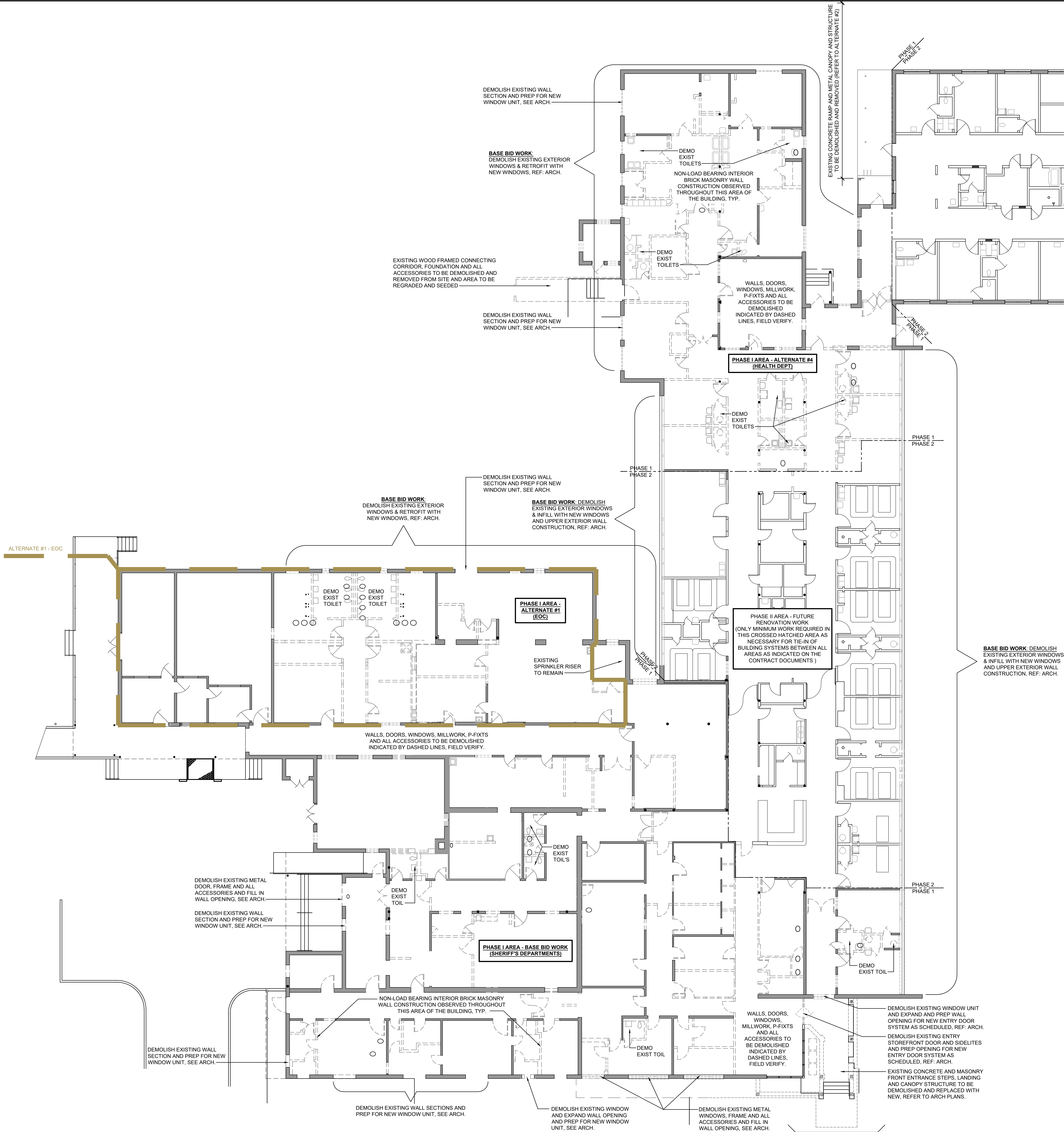
ADD ALTERNATE FOUR:
CONTRACTOR SHALL STATE PRICE WHICH WOULD REPRESENT ALL LABOR AND MATERIALS REQUIRED TO PROVIDE ALL INTERIOR WORK NOTED AS HEALTH DEPARTMENT (ALL SPACE NUMBERS PRECEDED WITH "H" AND "VA") AS INDICATED THROUGHOUT THESE CONTRACT DOCUMENTS. IF THIS ALTERNATE IS ACCEPTED IT WILL INCLUDE ALL WORK REQUIRED IN THE AREAS OF ARCHITECTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE SUPPRESSION AND STRUCTURAL.

ADD ALTERNATE FIVE:
CONTRACTOR SHALL STATE PRICE WHICH WOULD REPRESENT ALL LABOR AND MATERIALS REQUIRED TO DEMOLISH AND DISPOSE ALL EXISTING EXTERIOR WINDOWS INDICATED AS "W2" AND "W10" AND THE EXTERIOR ALUMINUM ENTRY DOOR "DS1" IN THE AREA NOTED AS "FUTURE PHASE II WORK (DSS)" ON THIS SHEET. ALTERNATE ALSO REQUIRES REPLACEMENT OF THE EXISTING UNITS WITH NEW PRE-FINISHED ALUMINUM, INSULATED, TINTED UNITS WITH ALL REQUIRED ACCESSORIES AND HARDWARE SIZED TO BE RETROFITTED AND INSTALLED INTO THE EXISTING WALL OPENINGS. ACCEPTANCE OF ALTERNATE ALSO INCLUDES SOLID SURFACE SILL COVERS AND VERTICAL SKIRT SIMILAR TO DETAIL H8 ON SHEET A5.1 AT EACH WINDOW UNIT.

GENERAL DRAWING NOTES:

- ALL FINISHED ROOF SYSTEM WORK AND MATERIALS FROM THE TOP OF THE ROOF DECK SUBSTRATE AND UP IS INCLUDED UNDER A SEPARATE CONTRACT BETWEEN THE OWNER AND "ALLCON ROOFING" (JOE GIBBS, 5 SPAGE DRIVE, TAYLORS, SC 29687, 828-246-2854, JOEGIBBS@ALLCONROOFING.COM). THE GENERAL CONTRACTOR SHALL VERIFY, COORDINATE AND SCHEDULE ALL FINISHED ROOFING, TIE-IN WORK FOR NEW CANOPIES AND PENETRATIONS OF THE EXISTING BUILDING ROOF WITH ALLCON ROOFING. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MATERIALS AND LABOR NOT INCLUDED UNDER "ALLCON ROOFING" BUT AS REQUIRED TO COMPLETE AND FINISH ALL WORK INDICATED ON THESE CONTRACT DOCUMENTS. ALL ROOF WORK TO BE PROVIDED BY "ALLCON ROOFING". NO EXCEPTIONS. REFER TO ROOF DOCUMENTS BY SHEPARD AND ASSOCIATES, LLC, INCLUDED WITH THESE BID DOCUMENTS FOR REFERENCE ONLY. THE GENERAL CONTRACTOR SHALL ALSO INCLUDE UNDER THEIR BID COSTS WORK AND MATERIALS ASSOCIATED WITH THE FLASHING AND ROOF CURB INSTALLATIONS REQUIRED FOR NEW ROOF MOUNTED EQUIPMENT INDICATED AND SPECIFIED UNDER THIS CONTRACT. ALLCON SHALL PROVIDE AND INSTALL THE REQUIRED CURB FLASHING MATERIAL AND LABOR AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL CONTACT ALLCON TO VERIFY AND DETERMINE THIS EXTRA REQUIRED WORK. AN ALLCON REPRESENTATIVE SHALL BE PRESENT FOR ALL ROOF PENETRATION WORK. ALL ROOF WORK TO BE APPROVED AND IN COMPLIANCE WITH THE ROOF WARRANTY.
- ALL WORK SHALL MEET THE MINIMUM REQUIREMENTS OF THE LATEST EDITION OF CURRENT CODES, REGULATIONS AND LAWS HAVING JURISDICTION OVER ALL TRADES FOR CONSTRUCTION AND INSTALLATION FOR THE FACILITY BASED ON LOCATION.
- ALL WORK TO BE COORDINATED WITH WORK OF CIVIL, STRUCTURAL, PLUMBING, MECHANICAL, FIRE SPRINKLER, ELECTRICAL, LANDSCAPING, AND ANY OTHER WORK INDICATED AND REQUIRED INDICATED IN THESE CONTRACT DOCUMENTS.
- ALL HANDICAPPED FIXTURES AND ACCESSORIES TO BE MOUNTED IN ACCORDANCE WITH ICC A117.1 (ANSI) AND THE AMERICANS WITH DISABILITIES ACT (ADA) LATEST PUBLICATION. CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND PROPER INSTALLATION OF ALL RELATED ELEMENTS AS WELL AS PROVIDING AND INSTALLING ALL NECESSARY IN-WALL ACCESSORY BLOCKING SUPPORTS AND ATTACHMENT COMPONENTS.
- ALL DIMENSIONS ARE TO FACE OF CMU, FACE OF WALL GIRTS, FACE OF STUDS AND CENTERLINES OF COLUMN AND EXTERIOR WINDOWS, U.N.O. (EXCEPT FOR DIMENSIONS FOR MILLWORK WHICH ARE FROM FACE OF WALL FINISHES, FIELD VERIFY CLEARANCES, TYP.)
- FURNITURE (DASHED LINES) IS NOT INCLUDED UNDER THIS CONTRACT, U.N.O.
- PROVIDE A MINIMUM OF 18" CLEAR ON PULL SIDE OF DOORS AND 12" CLEAR ON PUSH SIDE OF ALL DOORS ALONG ACCESSIBLE ROUTES AND IN ALL HANDICAPPED ACCESSIBLE SPACES.
- PROVIDE SUPPORT BLOCKING AS REQUIRED OR AS RECOMMENDED BY MANUFACTURER FOR STUD WALL MOUNTED ACCESSORIES, FIXTURES, ETC.
- PHASE I WORK TO BE INCLUDED UNDER THIS CONTRACT. PHASE II WORK IS FUTURE WORK AND NOT INCLUDED UNDER THIS CONTRACT EXCEPT AS NOTED.
- ALL EXTERIOR NEW CONCRETE PADS & WALKS TO HAVE LIGHT BROOM FINISH AND TROWELED TO PROVIDE "PICTURE FRAME" EFFECT AND CONTROL JOINTS AS INDICATED ON THE SITE DETAILS SHEET. PROVIDE 1/4" FT SLOPE AWAY FROM BUILDING FOR SLABS ADJACENT TO BUILDING AND SLOPE TO DRAIN FOR ALL OTHER SECTIONS, TYP. ANY AND ALL CRACKED SLABS SHALL BE REPLACED FROM JOINT TO JOINT, NO EXCEPTIONS.
- ALL EXPOSED BUILDING METAL/STEEL FRAMING COMPONENTS AND ACCESSORIES TO BE PRIMED AND PAINTED.
- HOLDING CELL S127: PROVIDE PAINTED 5/8" IMPACT RESISTANT GYP. BD. FINISH ON WALLS. EXTEND AND SEAL WALLS TO UNDERSIDE OF ROOF DECKING. ALSO PROVIDE 6" METAL CEILING JOIST FRAMING @ 16" O.C. WITH PAINTED "HIGH-IMPACT" GYP. BD. FINISH. CEILING TO BE MOUNTED HIGH AS POSSIBLE, FIELD VERIFY CLEARANCE.
- CEILING BULKHEADS INDICATED ON THE REFLECTED CEILING PLAN TO ACCOMMODATE CEILING DIRECTIONAL CHANGE TRANSITIONS SHALL BE FRAMED WITH 3 5/8" METAL STUDS (U.N.O.) WITH PAINTED 5/8" GYP. BD. BOTTOM OF FINISH SHALL BE 1" MIN. BELOW LOWEST ADJACENT FINISHED CEILING UNLESS OTHERWISE INDICATED.
- DOOR OPENINGS NOT DIMENSIONED ARE ASSUMED TO BE LOCATED UTILIZING EXISTING DOOR OPENINGS, FIELD VERIFY. PREP EXISTING OPENING TO RECEIVE SCHEDULED DOOR, FRAME AND ALL ACCESSORIES NECESSARY FOR A FULLY OPERATIONAL DOOR SYSTEM, TYP.
- EXTERIOR WINDOW OPENINGS NOT DIMENSIONED ARE ASSUMED TO BE LOCATED UTILIZING EXISTING WINDOW OPENINGS, FIELD VERIFY. PREP EXISTING OPENING TO RECEIVE SCHEDULED WINDOW, FRAME AND ALL ACCESSORIES NECESSARY FOR A FULLY OPERATIONAL WINDOW SYSTEM, TYP.
- ALL DATA / IT / COMPUTER / SECURITY SYSTEMS WIRING, FIXTURES, COMPONENTS SHALL BE PROVIDED BY THE OWNER, UNLESS OTHERWISE NOTED. ALL RACEWAY CONDUITS AND BOXES SHALL BE INCLUDED UNDER THE BASE BID WORK, REFER TO ELECTRICAL.
- REMOVE INTERIOR FINISH FROM ALL EXISTING WALLS IN ALL RENOVATED AREAS AND REPLACE WITH NEW PAINTED GYP. BD. AND OTHER INDICATED FINISHES. PROVIDE 7/8" METAL FURRING ON THE INTERIOR SIDE OF ALL EXISTING MASONRY WALLS INDICATED TO REMAIN. PROVIDE SOUND BATTS IN ALL NEW AND EXISTING STUD WALLS, TYP.
- FIELD VERIFY HEIGHT OF INTERIOR EXISTING WALLS NOTED TO EXTEND TO UNDERSIDE OF EXISTING ROOF DECK. PROVIDE 3 5/8" METAL STUDS @ 16" O.C., TYP. FROM TOP OF EXISTING WALL TO UNDERSIDE OF THE EXISTING ROOF DECK AS REQUIRED AND PROVIDE GYP. BD. FINISH TO BOTH SIDES AND FILL ALL VOIDS WITH SOUND BATTS, TYP.

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PROJECT CONSTRUCTION DESCRIPTION:

(PHASE I) BASE-BID CONSTRUCTION WORK:
SHERIFF DEPARTMENTS:
ALL DEMOLITION WORK AND INTERIOR RENOVATION WORK INDICATED, DEMOLITION AND REPLACEMENT OF EXTERIOR WINDOWS AND DOORS (BUILDING EXTERIOR ENVELOPE) AS INDICATED IN ALL AREAS EXCEPT PHASE II DSS AND MODIFICATIONS TO EXISTING CANOPIES AS INDICATED ON THE CONTRACT DOCUMENTS.

(PHASE I) ALTERNATE #1 - EOC:
IF ALTERNATE IS ACCEPTED, ALL DEMOLITION AND INTERIOR RENOVATIONS WORK AS INDICATED ON THE CONTRACT DOCUMENTS.

(PHASE I) ALTERNATE #4 - HEALTH DEPARTMENT:
IF ALTERNATE IS ACCEPTED, ALL DEMOLITION AND INTERIOR RENOVATIONS WORK AS INDICATED ON THE CONTRACT DOCUMENTS.

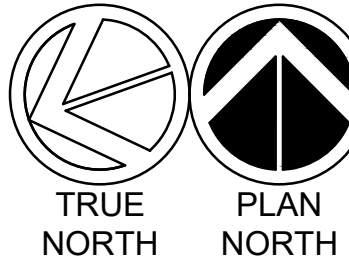
(PHASE II INCLUDING DSS PHASE II) FUTURE WORK:
NO WORK REQUIRED IN AREAS NOTED AS PHASE II EXCEPT AS REQUIRED TO INSTALL NEW EXTERIOR WINDOWS INDICATED (ADD ALTERNATE #5) AS WELL AS WORK AND MATERIALS REQUIRED TO EXTEND AND TIE-IN NEW BUILDING SYSTEMS TO RENOVATED BASE BID AREAS AS INDICATED ON THE CONTRACT DOCUMENTS.

GENERAL DEMOLITION NOTES:

- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS ENCOUNTERED WITH REVIEW OF THE CONTRACT DOCUMENTS.
- ALL WORK SHALL MEET THE MINIMUM REQUIREMENTS OF THE LATEST EDITION OF CURRENT CODES AND REGULATIONS HAVING JURISDICTION OVER ALL TRADES FOR CONSTRUCTION AND INSTALLATION FOR THE FACILITY BASED ON LOCATION.
- EXTREME CARE MUST BE TAKEN AT TRANSITIONS OF EXISTING MATERIALS (SITE ELEMENTS, MASONRY, FLOORS, CEILINGS, ETC.), TO ADDITION WORK. CLEAN CUTS MUST OCCUR DURING DEMOLITION IN ORDER TO PROVIDE FOR A SMOOTH CONTINUATION OF FINISHES FROM EXISTING TO NEW ADDITIONS. EXISTING CONSTRUCTION TO REMAIN AT INTERSECTION OF NEW OPENINGS AND BUILDING ADDITIONS TO BE REPAIRED AND PREPARED FOR NEW FINISH. CONTRACTOR SHALL PROVIDE NEW MATERIALS AT THE END OF EXISTING CONSTRUCTION TO PROVIDE LIKE NEW FINISH EDGES, CORNERS, ETC.
- CONTRACTOR SHALL CONDUCT THEIR OWN SITE VISITS PRIOR TO BIDDING AND CONSTRUCTION START TO FIELD VERIFY ALL EXISTING CONDITIONS. CONDITIONS INDICATED ON THESE CONTRACT DOCUMENTS MAY VARY OR DIFFER FROM ACTUAL CONDITIONS AND SITUATIONS, ESPECIALLY FOR CONDITIONS NOT VISIBLE BEHIND EXISTING FINISHES AND CONCEALED AREAS.
- CONTRACTOR SHALL PROVIDE ALL MEANS NECESSARY TO PRESERVE AND PROTECT EXISTING FINISHES NOT AFFECTED BY DEMOLITION, RENOVATION, OR NEW ADDITION WORK. IN THE EVENT THE EXISTING FLOOR FINISH REQUIRES REMOVAL FOR NEW CONSTRUCTION, CONTRACTOR SHALL PROVIDE STRAIGHT CLEAN SAW CUT EDGES AS CLOSE AS POSSIBLE TO NEW WORK AND PROVIDE NEW TRANSITION STRIPS. REPAIR, REPLACE AND REFINISH ALL DAMAGED WORK TO MATCH ADJACENT CONSTRUCTION/FINISHES, ETC., TYP.
- CONTRACTOR SHALL DISPOSE OF ALL DEMOLISHED DEBRIS, MATERIALS, ETC., FROM SITE AND IN COMPLIANCE WITH ALL LOCAL REGULATIONS AND LAWS AS REQUIRED.
- CONTRACTOR SHALL PROVIDE ALL MEANS NECESSARY TO PROTECT AND PRESERVE EXISTING EXTERIOR BRICK UNITS INDICATED TO BE DEMOLISHED FOR REUSE AND PATCHING OF AREAS IN THE EXISTING BUILDINGS SCHEDULED FOR MODIFICATIONS.
- BASE BID WORK INCLUDES DEMOLISH OF ALL EXISTING WINDOW UNITS IN THE NORTH AND SOUTH EXTERIOR WALLS OF THE BUILDING AREA NOTED AS "PHASE II - FUTURE WORK" (DOES NOT INCLUDE PHASE II - DSS AREA). ALSO PROVIDE TEMPORARY COVERS OVER ALL EXTERIOR WALL OPENINGS AS REQUIRED TO PROTECT BUILDING INTERIOR FROM WEATHER EVENTS UNTIL RENOVATION WORK AND INSTALLATION OF NEW UNITS CAN BE COMPLETED.

WALL LEGEND

TYPE	DESCRIPTION
A	EXISTING EXTERIOR WITH NEW INTERIOR PAINTED GWB OVER 3/4" FURRING IF REQUIRED, FIELD VERIFY CONSTRUCTION (AND STUDS)
B	NEW INTERIOR METAL STUD WITH PAINTED GWB AND SOUND ATTENUATION BATTS, FIELD VERIFY CONSTRUCTION (AND STUDS)
C	EXISTING INTERIOR WITH NEW OPENING, MATCH ADJACENT CONSTRUCTION AND FINISHES, FIELD VERIFY CONSTRUCTION (AND STUDS)
D	EXISTING INTERIOR STUD OR MASONRY WITH NEW PAINTED GWB, PROVIDE BATTS FOR FURRING FOR MASONRY IF REQUIRED, FIELD VERIFY CONSTRUCTION (AND STUDS)
E	EXISTING WALL CONSTRUCTION TO BE DEMOLISHED, FIELD VERIFY CONSTRUCTION (AND STUDS)
F	EXISTING WALL CONSTRUCTION TO REMAIN, NO WORK REQUIRED



1 D1.0 DEMOLITION FLOOR PLAN
SCALE: 3/32"=1'-0"

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OWNER
**COUNTY OF
BAMBERG**
P.O. BOX 149
BAMBERG, SC 29003
803-245-5191

PROJECT



CONVERSION OF THE BAMBERG MEMORIAL HOSPITAL TO:
BAMBERG ADMINISTRATIVE OFFICES
BAMBERG,
SOUTH CAROLINA

**DEMOLITION
FLOOR
PLAN**

CHECKED BY:

COMM: 17019
FILE: BASEPLAN
DRAWN BY: xxx
PLOT: 1
DATE: 10-14-20
REV:

SHEET

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OF XX

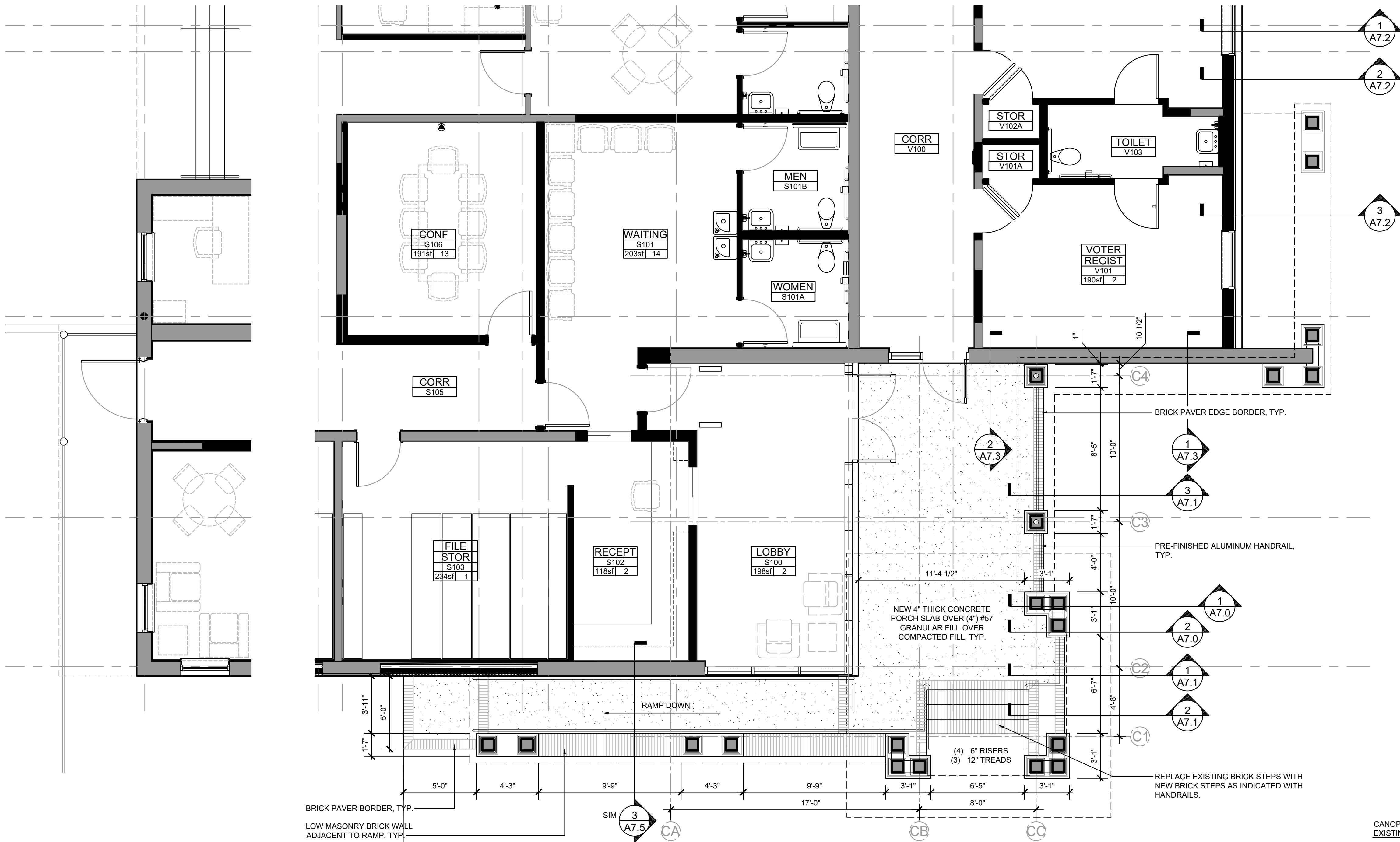
PIKE ■ MCFARLAND ■ HALL ASSOCIATES, INC.

PHONE: (843) 497-0272 FAX: (843) 497-0271

1300 PROFESSIONAL DRIVE, SUITE 201, MYRTLE BEACH, SOUTH CAROLINA 29577

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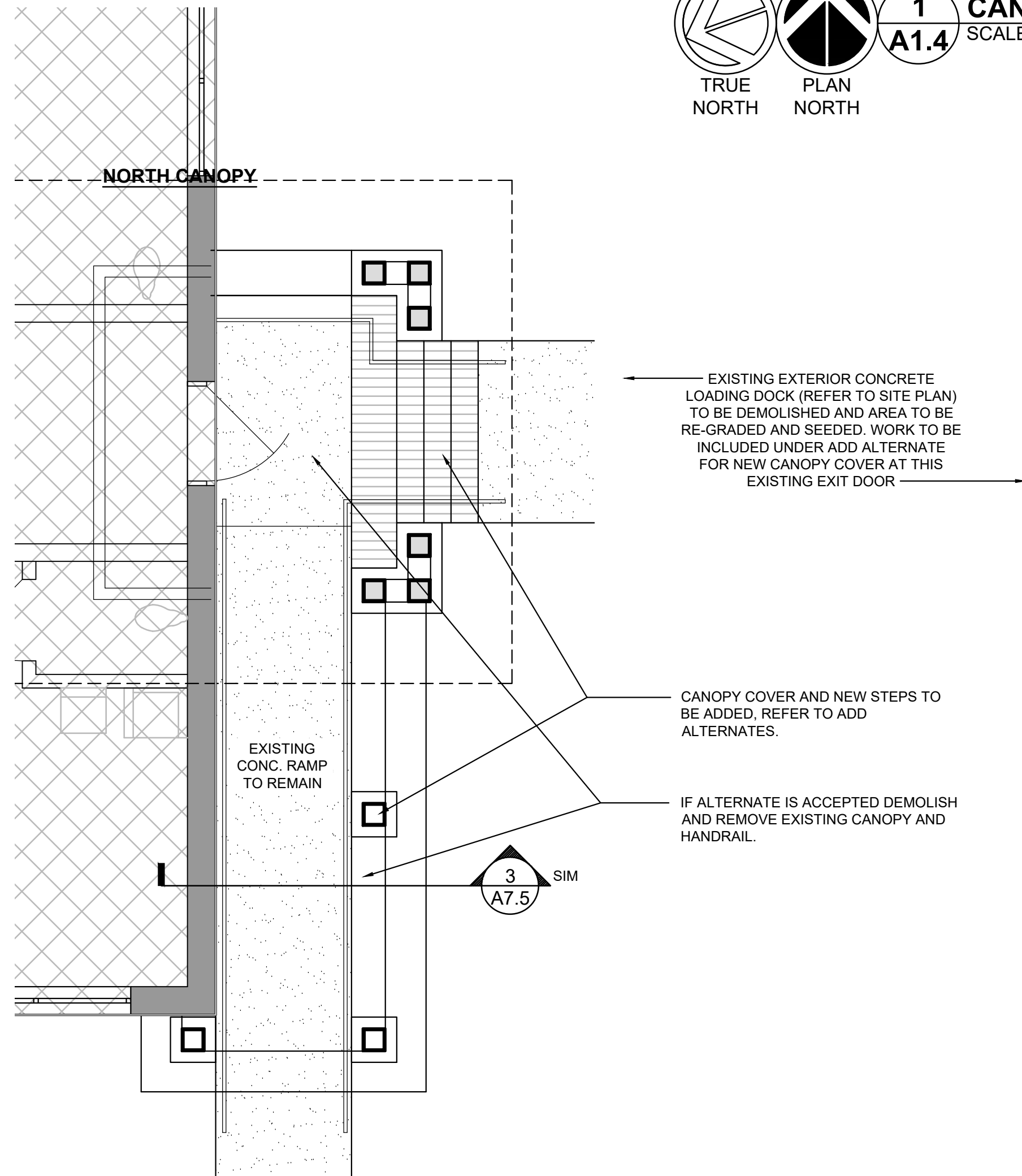


FRONT ENTRANCE CANOPY

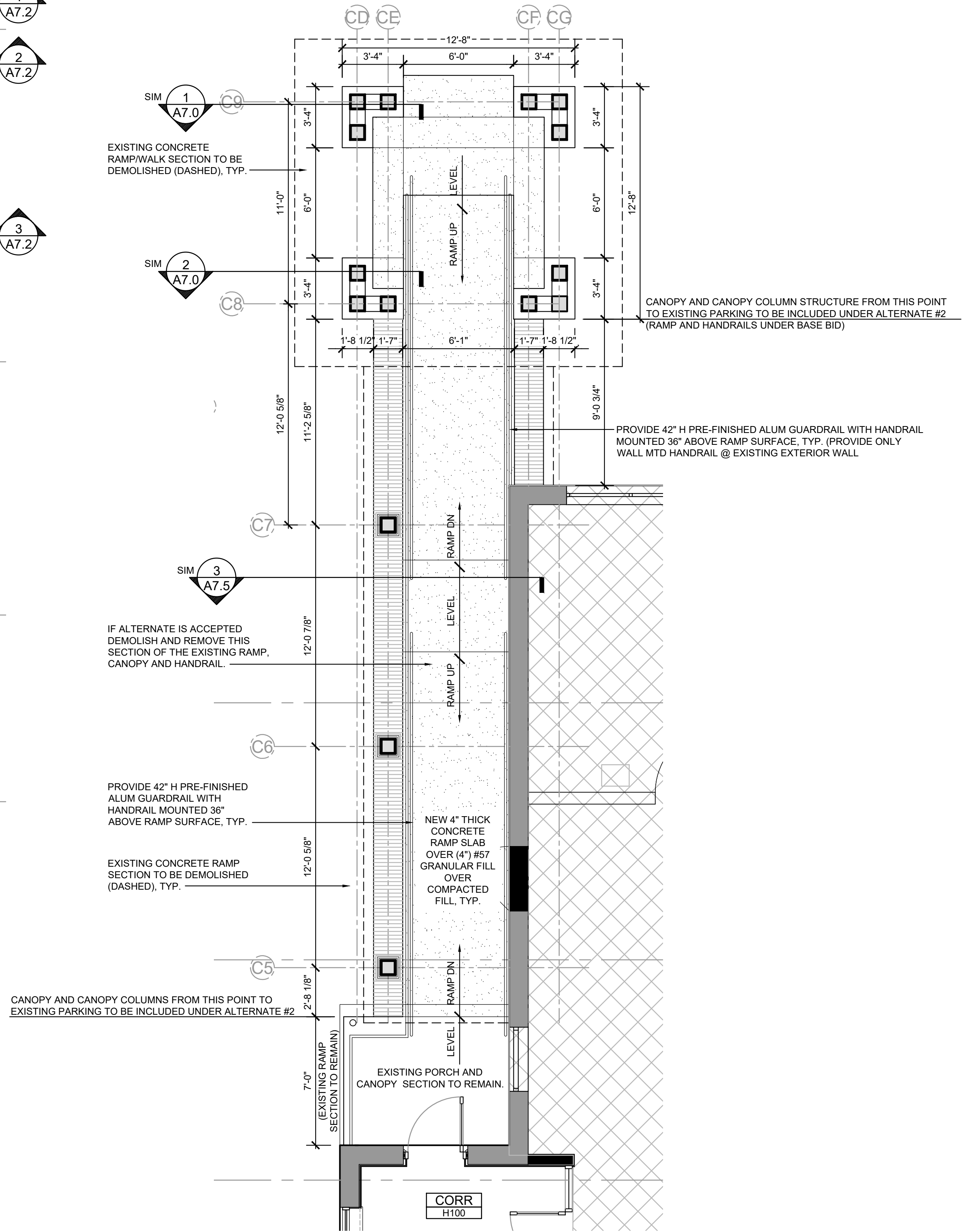
1 CANOPY PLAN - SHERIFF FRONT ENTRANCE & NORTH EXIT
SCALE: 1/4"=1'-0" (BASE BID / REFER TO SHEET A1.0 FOR GENERAL NOTES)

NOTE:
EXISTING CONCRETE AND MASONRY FRONT PORCH, STEPS, WALLS, FOUNDATIONS, CANOPY AND CANOPY STRUCTURE TO BE DEMOLISHED AND REPLACED WITH NEW PORCH AND CANOPY COVER AS INDICATED.

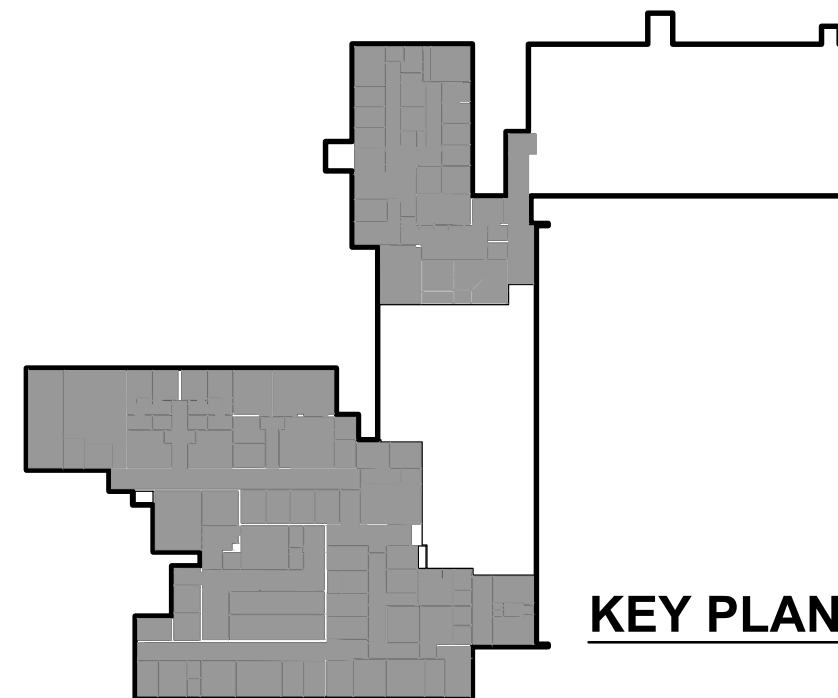
NOTE:
CONTRACTOR SHALL PROVIDE ALL STRUCTURAL SUB-STRUCTURE ROOF FRAMING, DECKING AND ACCESSORIES FOR ALL NEW CANOPY ROOF SYSTEMS WHERE INDICATED ON THE DRAWINGS. CONTRACTOR SHALL ALSO CONTACT ALLCON ROOFING (864-552-1365 - PROJECT NUMBER C20-028) TO VERIFY AND COORDINATE ALL LABOR AND MATERIALS THEY ARE PROVIDING UNDER SEPARATE CONTRACT FOR THE CANOPY ROOF SYSTEMS. ALL CONSTRUCTION REQUIRED BELOW THE FINISHED ROOF SYSTEMS TO BE PROVIDED UNDER THIS CONTRACT.



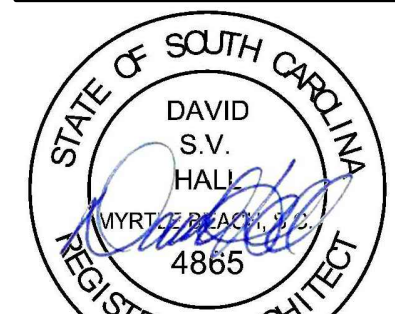
3 CANOPY PLAN - PH II DSS FUTURE
SCALE: 1/4"=1'-0" (REFER TO ADD ALTERNATE 3)



2 CANOPY PLAN - HEALTH DEPT.
SCALE: 1/4"=1'-0" (REFER TO ADD ALTERNATE 2)



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CONVERSION OF THE BAMBERG MEMORIAL HOSPITAL TO:
BAMBERG ADMINISTRATIVE OFFICES
BAMBERG,
SOUTH CAROLINA

FLOOR PLAN
HEALTH
VOTER ADM

CHECKED BY:
COMM: 17019
FILE: BASEPLAN
DRAWN BY: xxx
PLOT: 1
DATE: 10-14-20
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OF XX

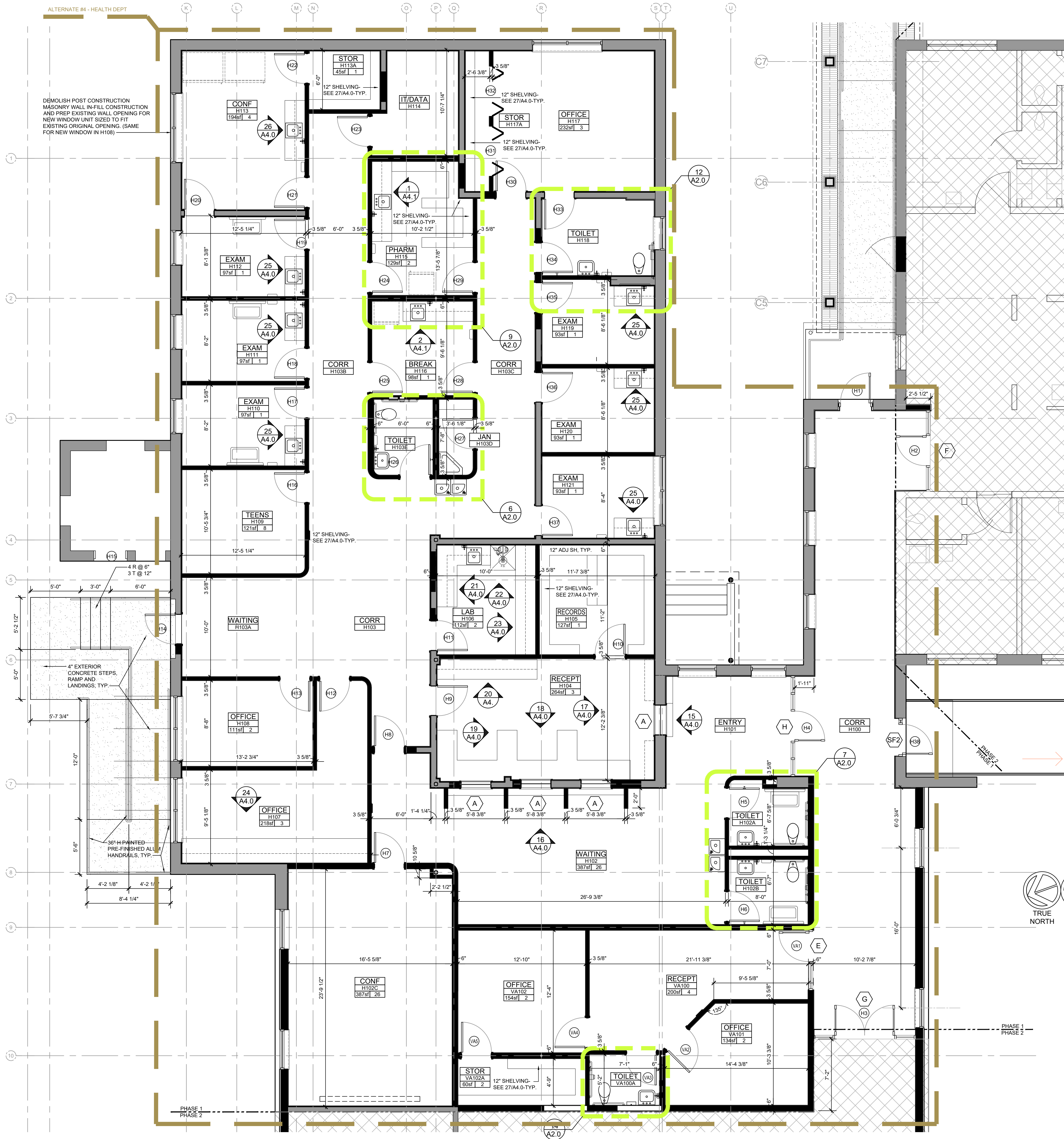
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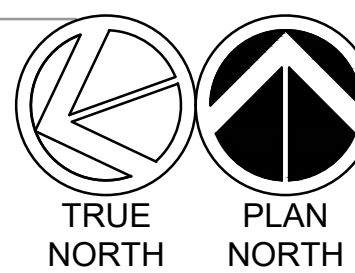
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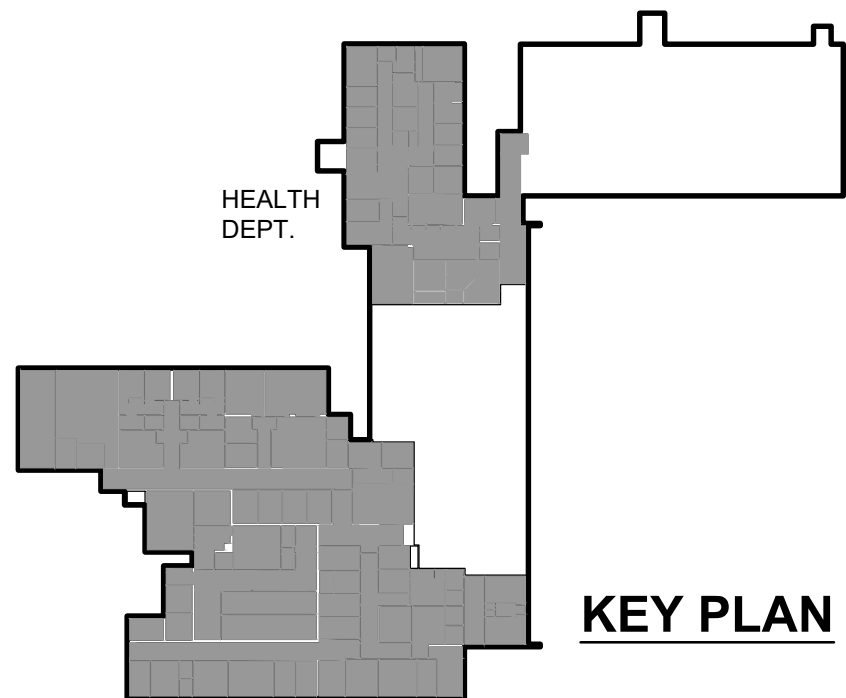
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WALL LEGEND	
TYPE	DESCRIPTION
(A)	EXISTING EXTERIOR WITH NEW INTERIOR PAINTED GWB OVER 3/4\"/>
(B)	NEW INTERIOR METAL STUD WITH PAINTED GWB AND SOUND ATTENUATION BATTS. SEE PLAN FOR THICKNESS
(C)	EXISTING INTERIOR WITH NEW OPENING. MATCH ADJACENT CONSTRUCTION AND FINISHES. FIELD VERIFY THICKNESS
(D)	EXISTING INTERIOR STUD OR MASONRY WITH NEW PAINTED GWB. PROVIDE BATTS FOR STUDS AND FURRING FOR MASONRY IF REQUIRED. FIELD VERIFY CONSTRUCTION
	EXISTING WALL CONSTRUCTION TO BE DEMOLISHED. FIELD VERIFY CONSTRUCTION (NLB BRICK MASONRY AND STUDS)
	EXISTING WALL CONSTRUCTION TO REMAIN. NO WORK REQUIRED



1
A1.3
ENLARGED FLOOR PLAN - HEALTH DEPT. /
VETERAN'S AFFAIRS - (ADD ALTERNATE #4)
SCALE: 1/4\"/>



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BAMBERG ADMINISTRATIVE OFFICES
BAMBERG,
SOUTH CAROLINA

FLOOR PLAN
HEALTH
VOTER ADM

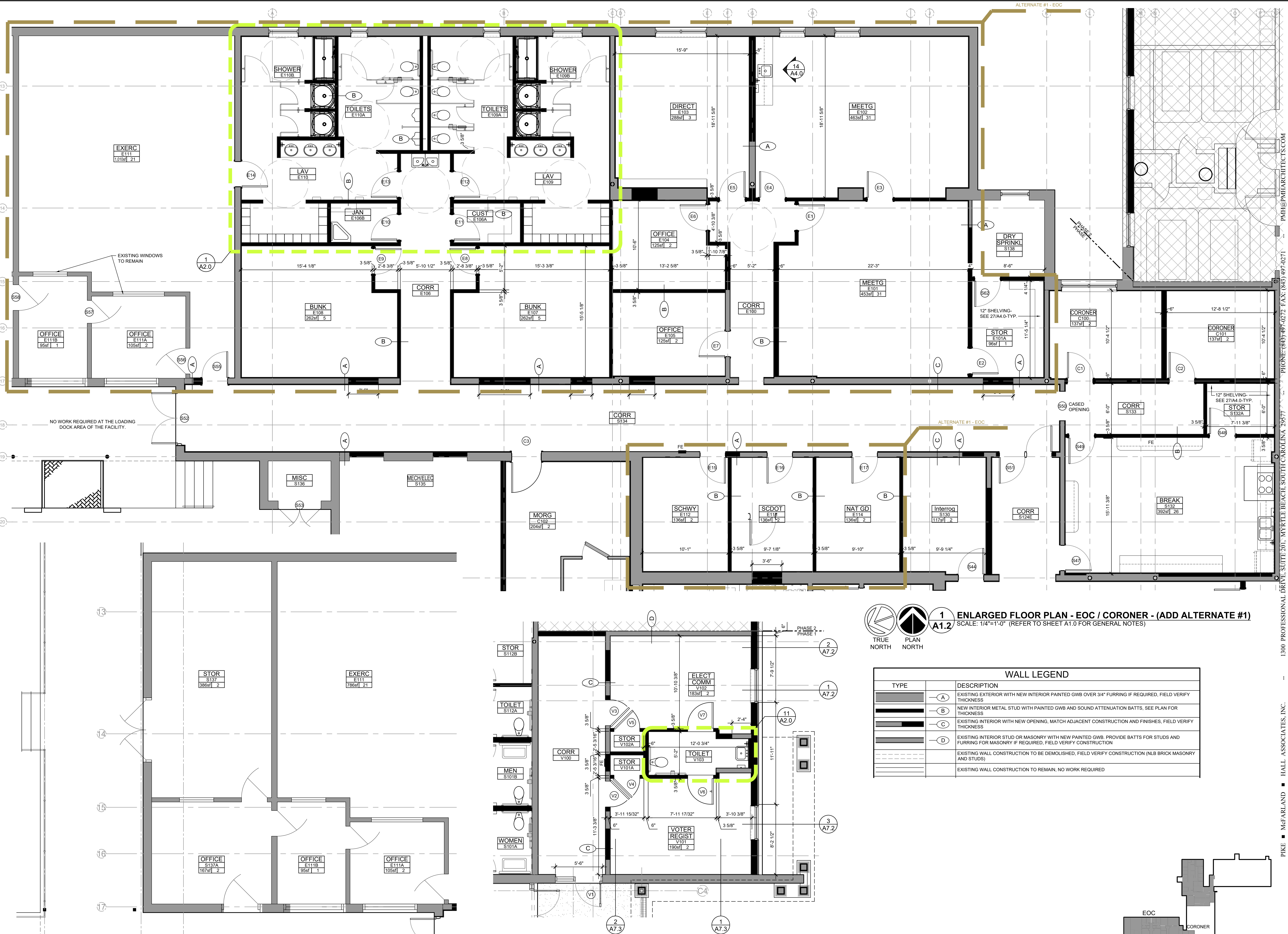
CHECKED BY:

COMM: 17019
FILE: BASEPLAN
DRAWN BY: xxx
PLOT: 1
DATE: 10-14-20
REV:

SHEET

A1.3
OF XX

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ASSOCIATES, INC.
ARCHITECTS & PLANNERS

STATE OF SOUTH CAROLINA
PIKE
MCFARLAND
HALL
REGISTERED ARCHITECTS
97032

STATE OF SOUTH CAROLINA
DAVID S.V. HALL
REGISTERED ARCHITECT
4865

OWNER
COUNTY OF
BAMBERG
P.O. BOX 149
BAMBERG, SC 29003
803-245-5191

PROJECT
CONVERSION OF THE BAMBERG MEMORIAL HOSPITAL TO:
BAMBERG ADMINISTRATIVE OFFICES
BAMBERG,
SOUTH CAROLINA

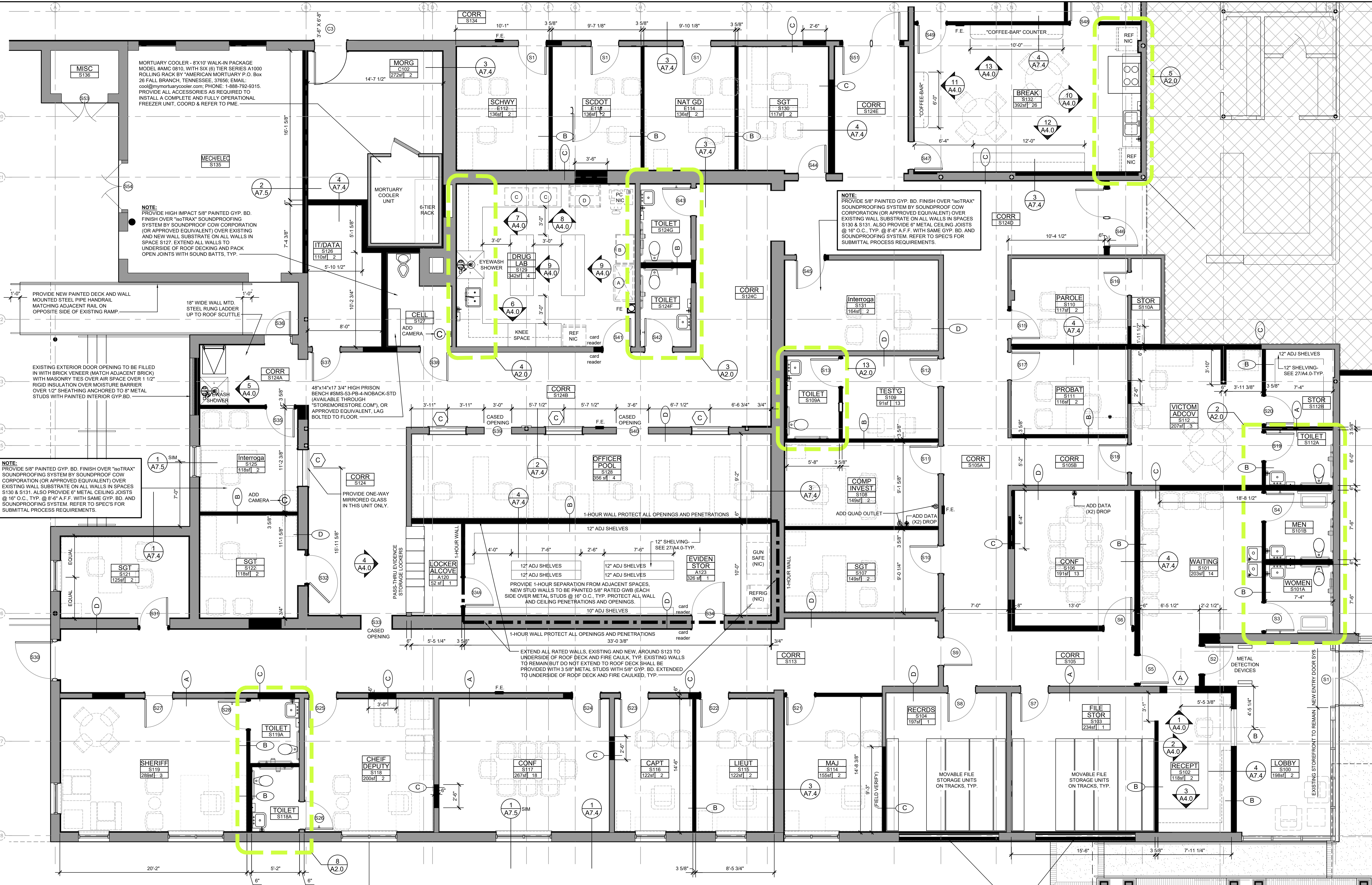
FLOOR PLAN
EOC-CORON

CHECKED BY:

COMM: 17019
FILE: BASEPLAN
DRAWN BY: xxx
PLOT: 1
DATE: 10-14-20
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DRUG LAB (S129) EQUIPMENT LIST				
MK	DESCRIPTION	MANUF	MODEL	NOTES
A	4' FUME HOOD	FISHER AMERICAN	NLS-403	INCLUDE FLOOR-MOUNTED BASE AND ALL ACCESSORIES FOR A COMPLETE AND FULLY OPERATIONAL FUME HOOD.
B	FLAMMABLE CABINET	EAGLE	T9AB214744	43" x 18" x 69"- SELF CLOSING
C	DEVELOPMENT CONTROL CHAMBER (x2 units)	SIRCHIE	DFC200	INCLUDE ALL ACCESSORIES FOR NECESSARY FOR A FULLY OPERATIONAL UNIT.
D	DUCTLESS EVIDENCE DRYING CABINET	SIRCHIE	DRYSAFE ACEVD36A ACEVD34 DRYSAFE STARTUP KIT	INCLUDE HEPA FILTER (ACHEPA)

EQUIPMENT NOTES:

- PROVIDE ALL HARDWARE, ANCHORING DEVICES AND ACCESSORIES, ETC., AS REQUIRED FOR COMPLETE INSTALLATIONS AND FULLY OPERATIONAL EQUIPMENT.
- COORDINATE AND VERIFY ALL UTILITY CONNECTIONS AS REQUIRED FOR EACH COMPONENT WITH THE PLUMBING, MECHANICAL AND ELECTRICAL DOCUMENTS.
- COORDINATE LOCATIONS AND ORIENTATIONS OF EACH PIECE OF EQUIPMENT WITH MILLWORK, OTHER EQUIPMENT AND FURNISHINGS AND LAYOUT OF SPACE, FIELD VERIFY ALL CONDITIONS PRIOR TO INSTALLATION.
- REFER TO SPEC SECTION 01300 FOR SUBMITTAL PROCEDURES FOR ALL EQUIPMENT AND ACCESSORIES.

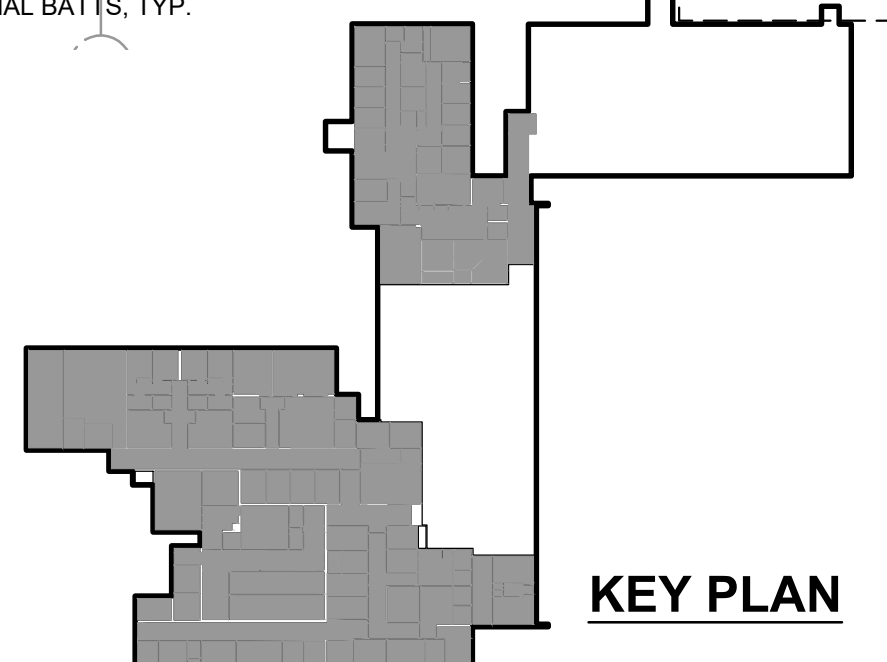
1

A1.1

ENLARGED FLOOR PLAN - SHERIFF

SCALE: 1/4"=1'-0" (REFER TO SHEET A1.0 FOR GENERAL NOTES)

WALL LEGEND	
TYPE	DESCRIPTION
	EXISTING EXTERIOR WITH NEW INTERIOR PAINTED GWB OVER 3/4" FURRING IF REQUIRED, FIELD VERIFY THICKNESS
	NEW INTERIOR METAL STUD WITH PAINTED GWB AND SOUND ATTENUATION BATTS, SEE PLAN FOR THICKNESS
	EXISTING INTERIOR WITH NEW OPENING, MATCH ADJACENT CONSTRUCTION AND FINISHES, FIELD VERIFY THICKNESS
	EXISTING INTERIOR STUD OR MASONRY WITH NEW PAINTED GWB, PROVIDE BATTS FOR STUDS AND FURRING FOR MASONRY IF REQUIRED, FIELD VERIFY CONSTRUCTION
	EXISTING WALL CONSTRUCTION TO BE DEMOLISHED, FIELD VERIFY CONSTRUCTION (NLB BRICK MASONRY AND STUDS)
	EXISTING WALL CONSTRUCTION TO REMAIN, NO WORK REQUIRED
	1-HOUR FIRE RATED WALL WITH 3/4 HOUR PROTECTED OPENINGS, FIRE CAULK ALL PENETRATIONS.



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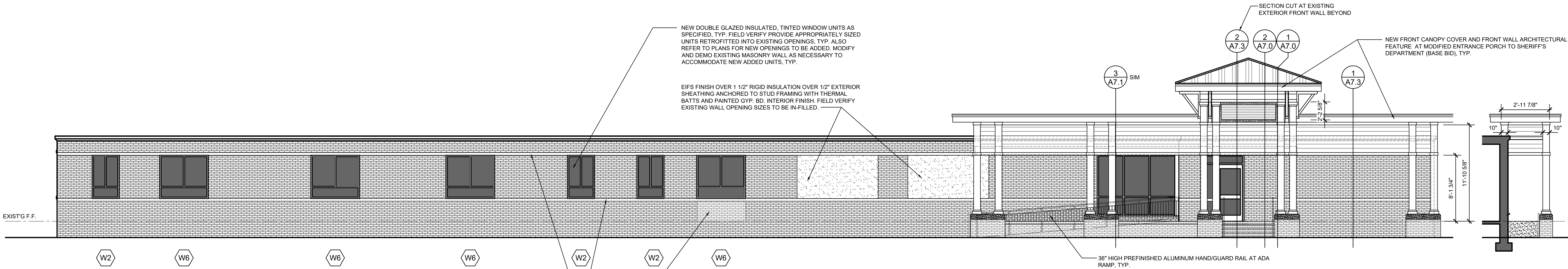
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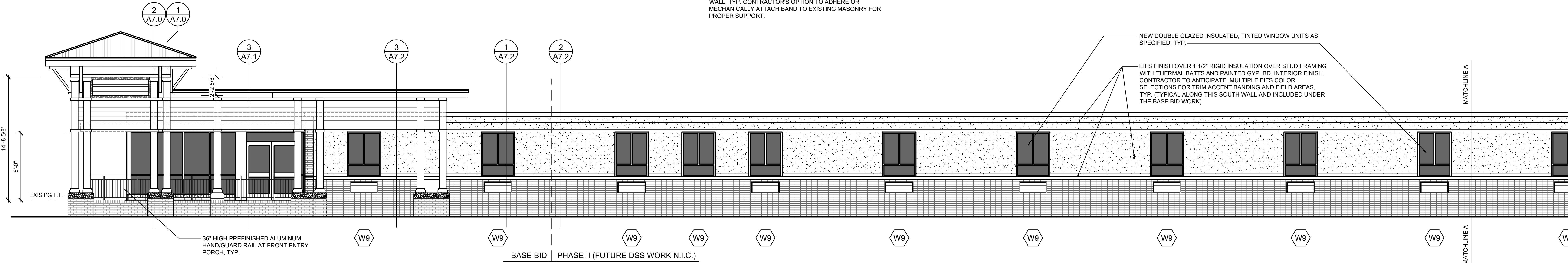
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PLOT: 1
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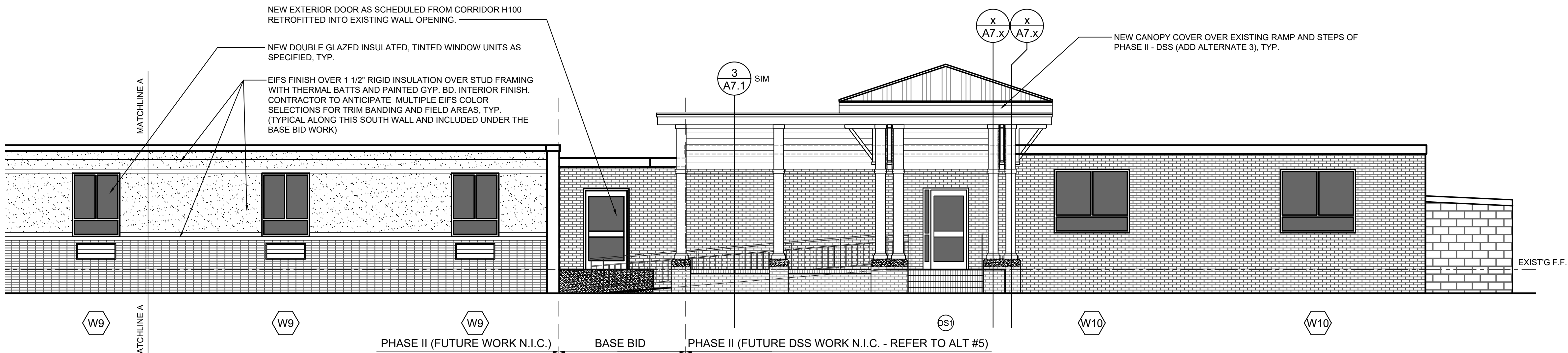


1 NORTHWEST FACING EXTERIOR BUILDING ELEVATIONS (FRONT)
A6.0 SCALE: 3/16"=1'-0"

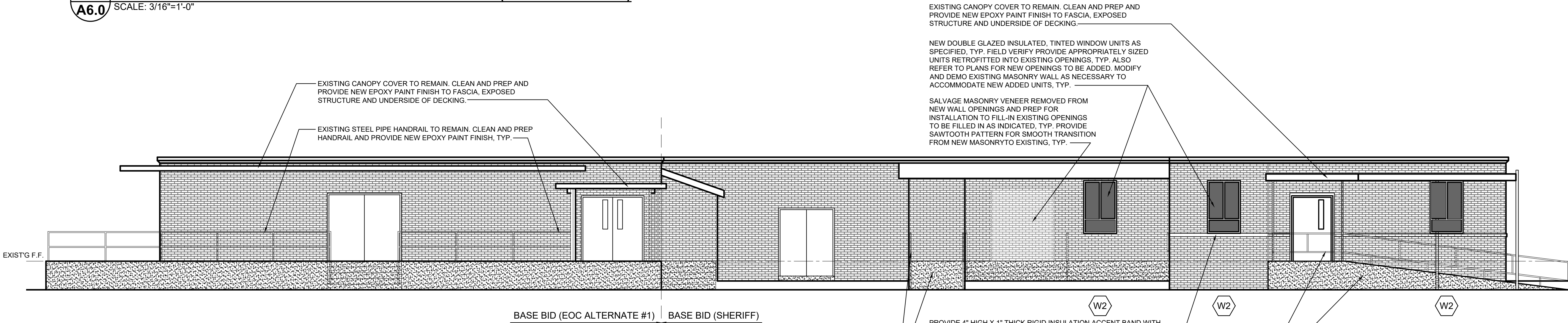
1A CANOPY END ELEV
A6.0 SCALE: 3/16"=1'-0"



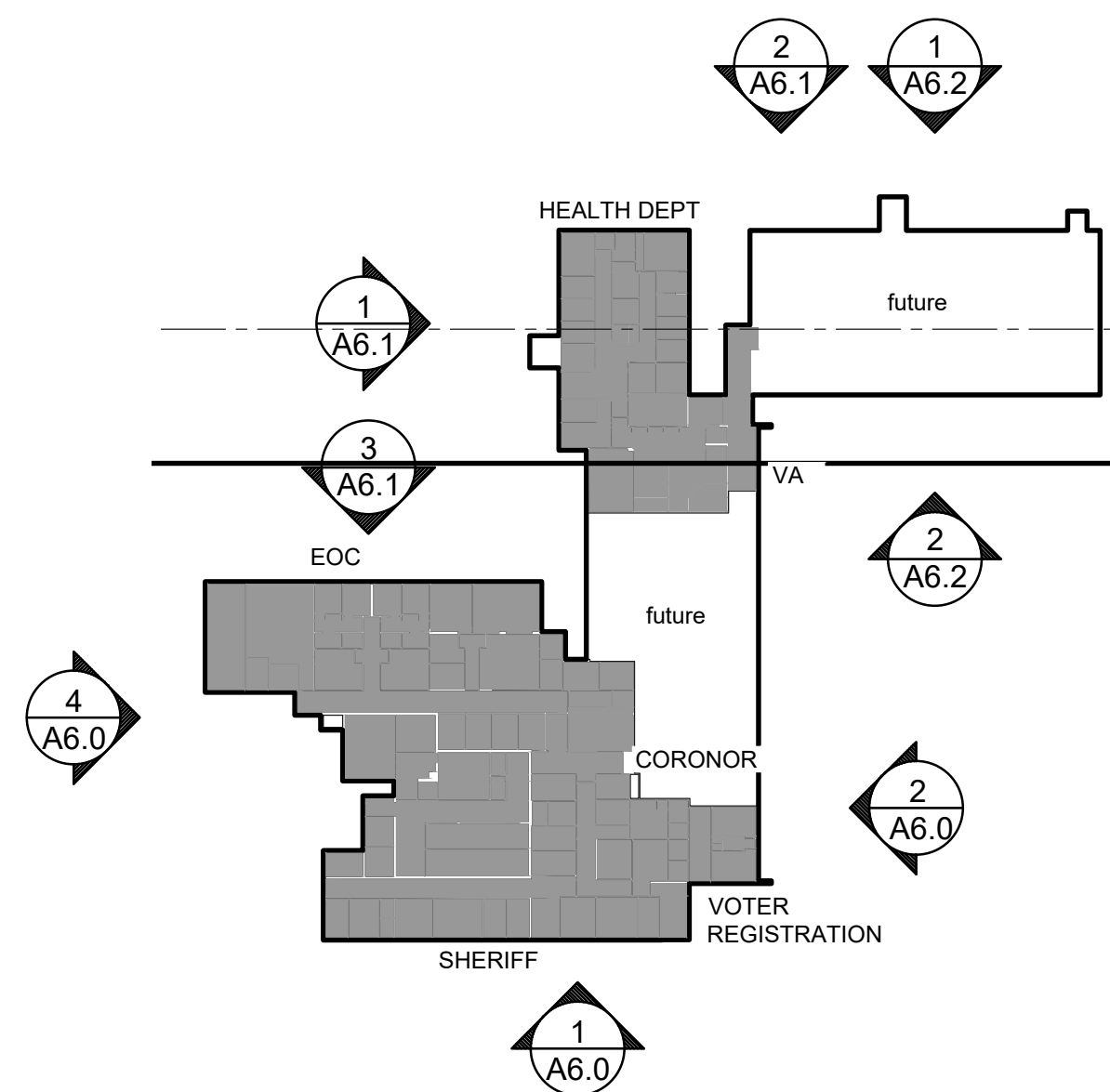
2 SOUTHWEST FACING EXTERIOR BUILDING ELEVATIONS (RIGHT SIDE)
A6.0 SCALE: 3/16"=1'-0"



3 SOUTHWEST FACING EXTERIOR BUILDING ELEVATIONS (RIGHT SIDE-CONT)
A6.0 SCALE: 3/16"=1'-0"

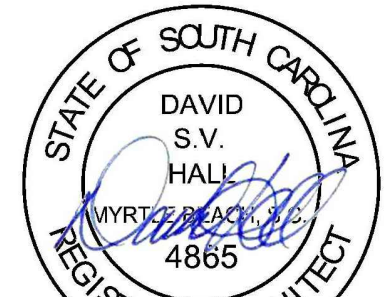


4 NORTHEAST FACING EXTERIOR BUILDING ELEVATIONS (LEFT SIDE)
A6.0 SCALE: 3/16"=1'-0"



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SOUTH CAROLINA

**BUILDING
EXTERIOR
ELEVATIONS**

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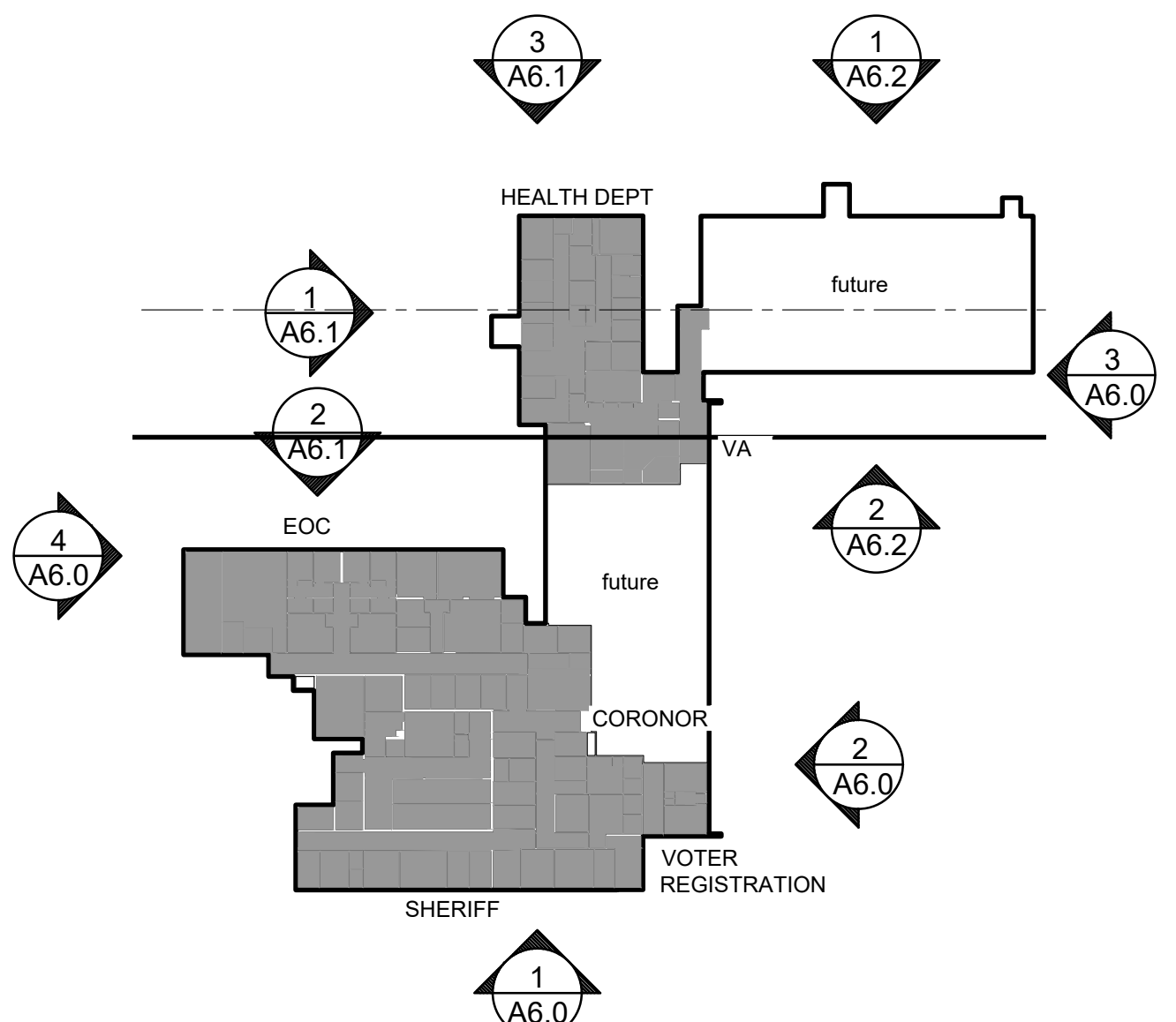
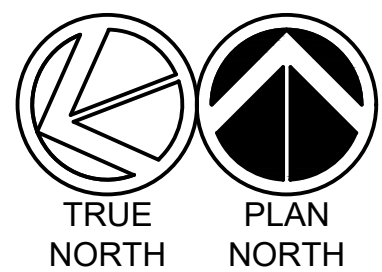
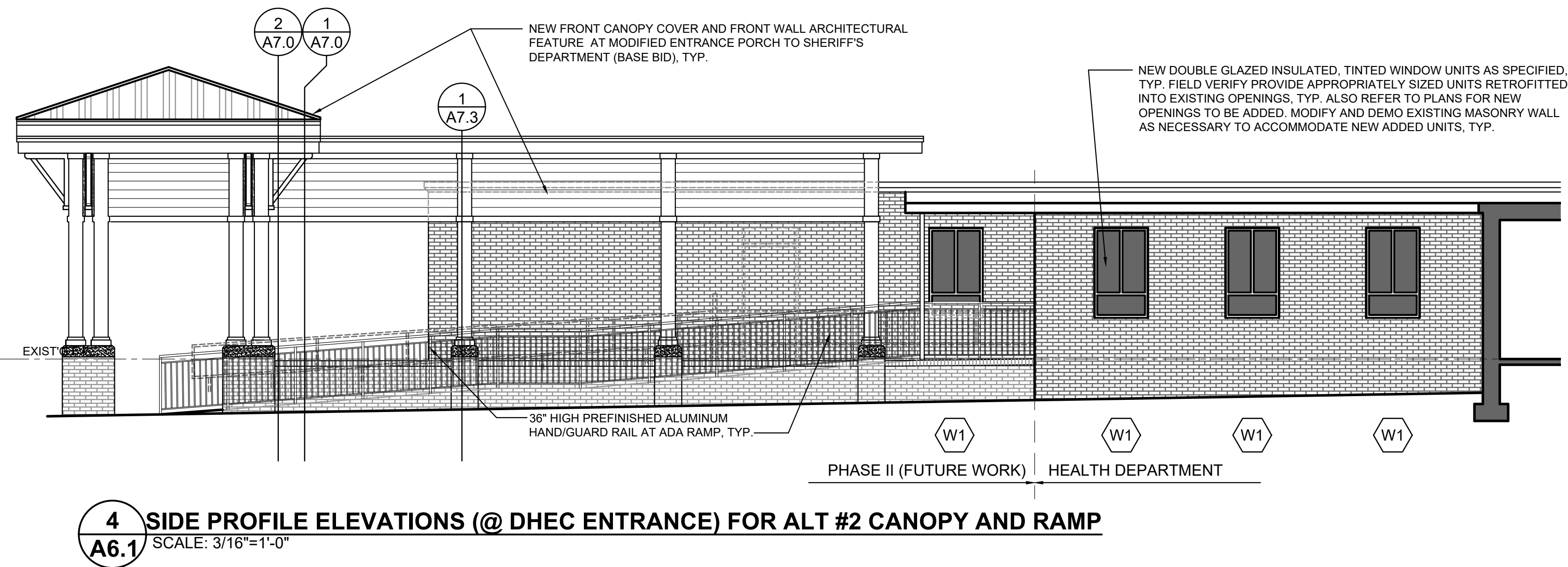
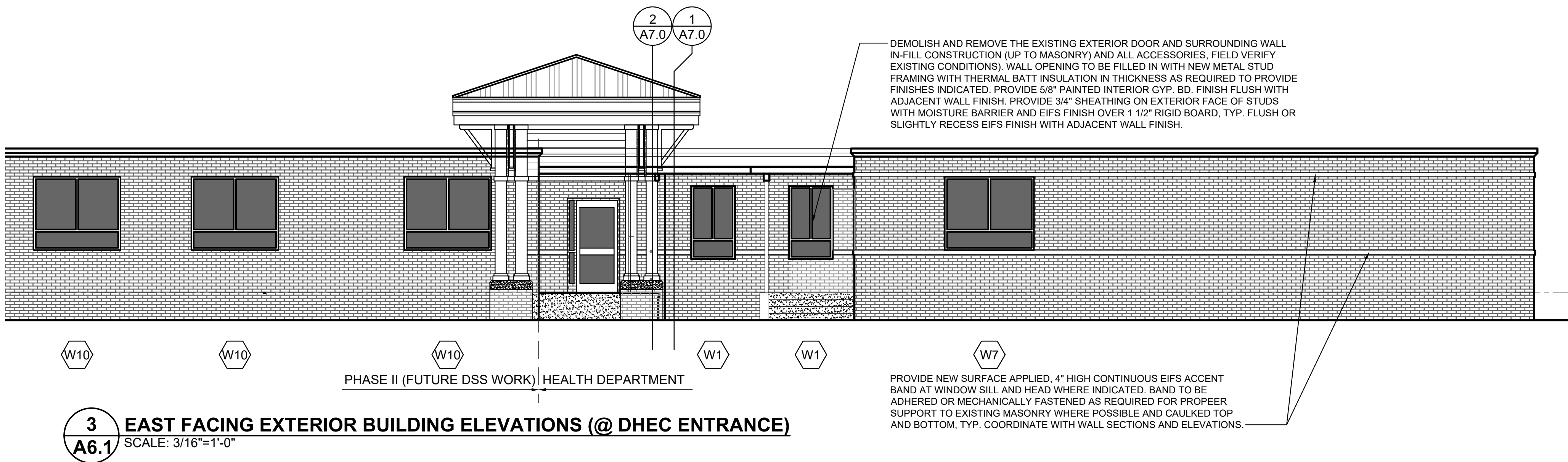
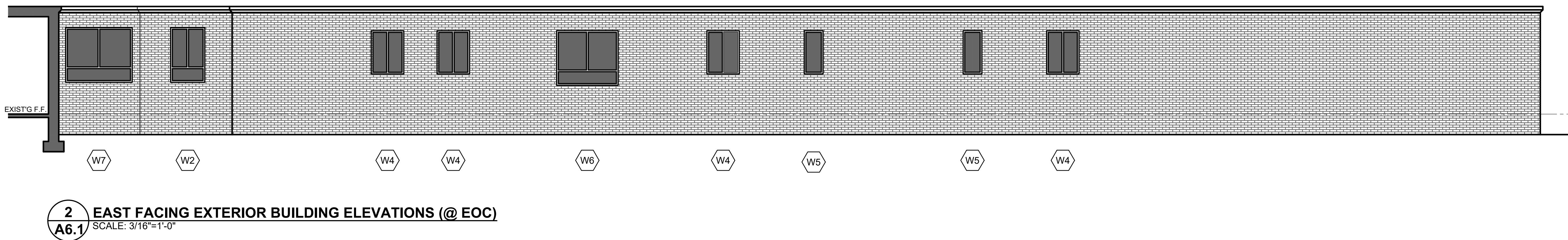
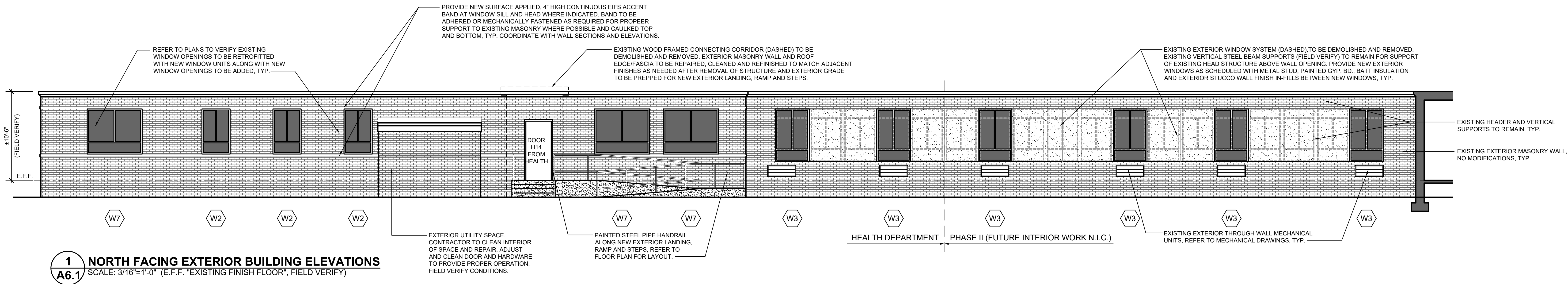
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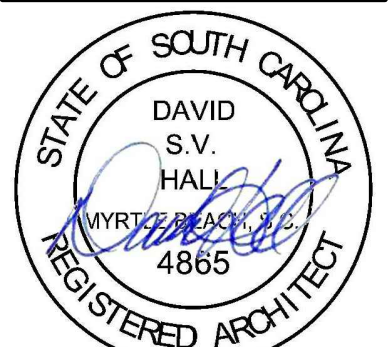
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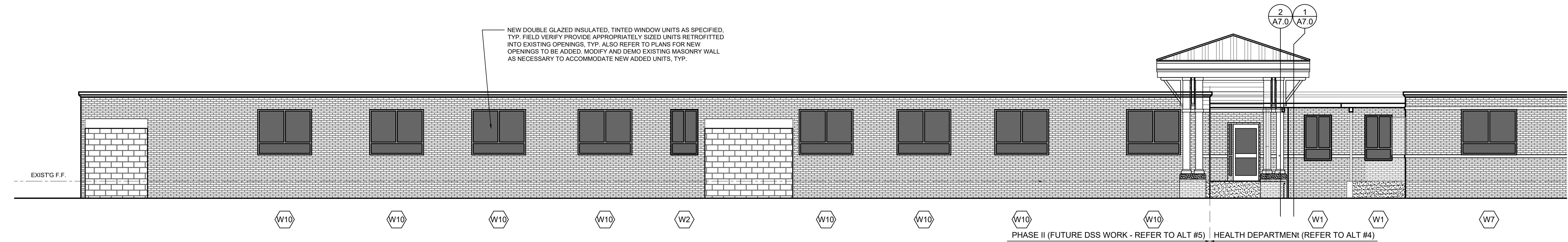
BUILDING
EXTERIOR
ELEVATIONS

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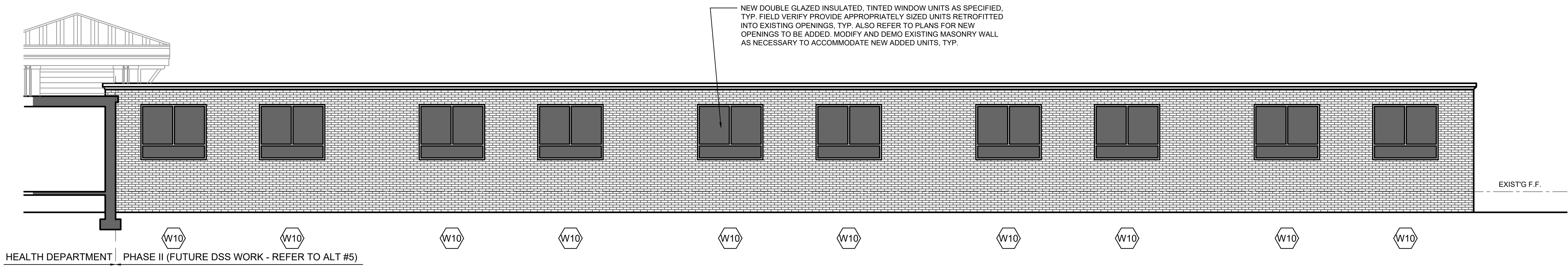
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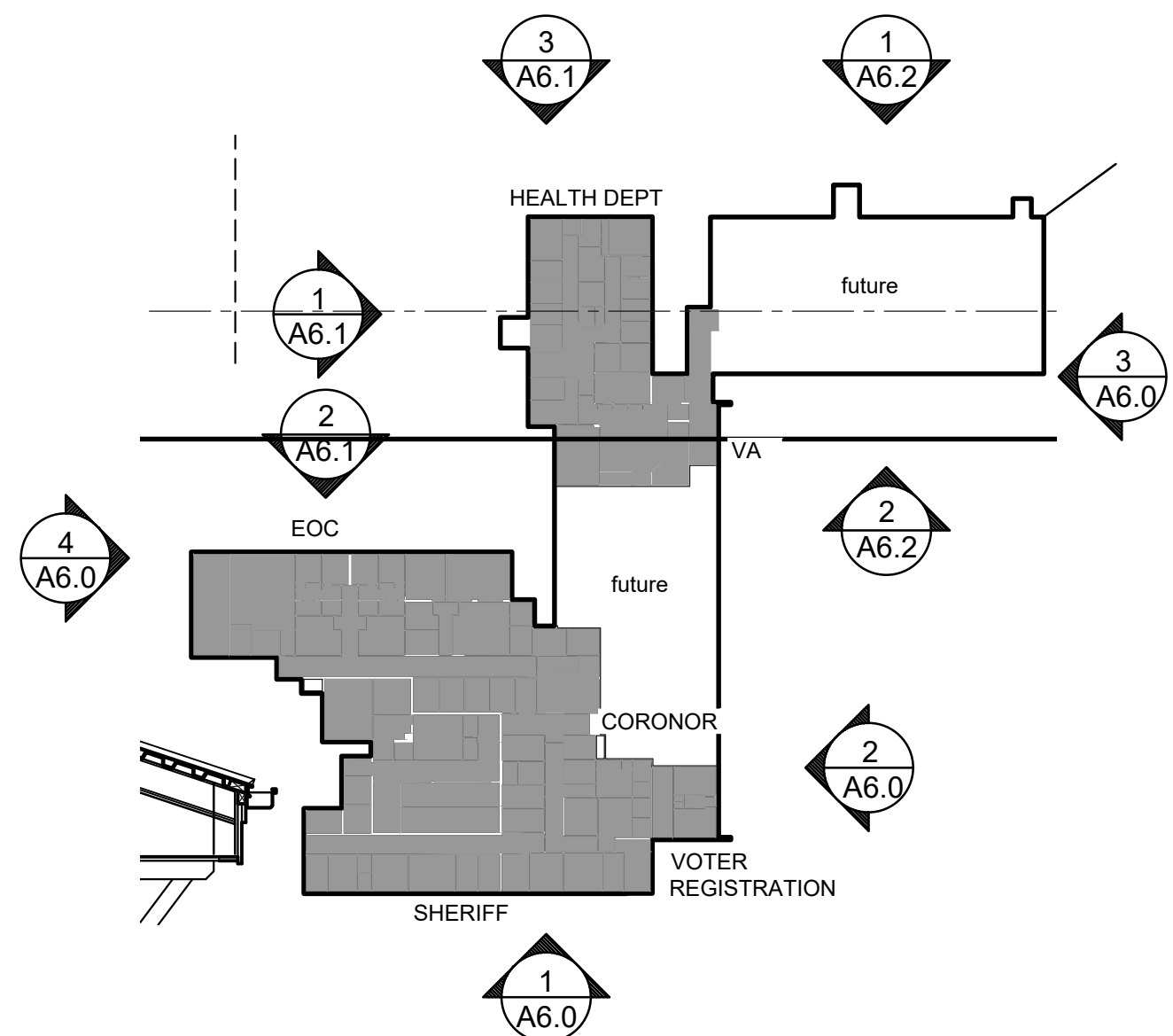
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1 EAST FACING EXTERIOR BUILDING ELEVATION (FUTURE PHASE II (DSS))
SCALE: 3/16"=1'-0" (REFER TO ADD ALTERNATE #5)



2 WEST FACING EXTERIOR BUILDING ELEVATION (FUTURE PHASE II (DSS))
SCALE: 3/16"=1'-0" (REFER TO ADD ALTERNATE #5)



	Bamberg County					
	Current Projects					
	Nov-22					
	#	Project Short Name		Cost	County Contribution	Funding Requested
	1	Hospital Repurposing Project	(Total Cost):	\$7,800,000		
	1a	DSS wing		\$2,300,000		
	1b	Voter Registration/Election Comission		\$1,000,000		
	1c	Law Enforcement Center [Morgue, EMS,Coroner,EOC]		\$1,500,000		
		Remaining Project Total		\$4,800,000	\$3,800,000	\$3,000,000
	6	Courthouse Restoration		\$10,000,000	\$7,000,000	\$3,000,000
		PROJECTS TOTAL			\$17,800,000	
		COUNTY FUNDED			\$10,800,000	
		FUNDING REQUESTED				\$6,000,000